

McCALL AREA PLANNING AND ZONING COMMISSION

Agenda

July 11, 2023 – 4:30 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference
216 E Park St, McCall, ID 83638

This meeting will be a hybrid, in-person and virtual meeting. Use a phone to call 208-634-8900, when prompted enter **Conference ID 205 293 751#**. If there are any questions, contact Brian Parker, City Planner (bparker@mccall.id.us).

The Legion Hall's Occupancy Capacity is 32. The Commission Members and staff who are anticipated to be in attendance is 8. The first 24 persons who appear will be allowed to be present in the meeting location. All other persons may be in attendance virtually.

American with Disabilities Act Notice: The Planning & Zoning Meeting room is accessible to persons with disabilities. If you need assistance, please contact City Hall at 634-7142 at least 48 hours prior to the meeting. Planning & Zoning Meetings are available for in person and virtual attendance.

MEETING – Begins at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Dave Petty, Ryan Kinzer, Liz Rock, Tony Moss, Tom Mihilfeith, Dana Paugh

1. REVIEW & APPROVAL OF MINUTES

- May 2, 2023 Minutes
- June 6, 2023 Minutes

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

Pre-App: Conditional Use Permit 1300 E Lake St - Mile High Marina Expansion Steve Millemann for Mile High Marina LLC

A Preliminary Development Plan Review application for a Conditional Use Permit to expand the Mile High Marina and replace the existing log breakwater with wave attenuable infrastructure and include publicly accessible decking with additional boat slips. The properties are located within and adjacent to the CV – Civic Zone, includes a current 5.84 acre encroachment over Payette Lake, and is more particularly described as:

A parcel of land at the W boundary of Lakeshore Blvd (Lake St), being the high water mark of Big Payette Lake between the extension of the north boundary line of Lot 5, Block 4, Gov't Lot 2, of the first addition to the Village of McCall, Idaho, as extended westerly to the high water mark of Big Payette Lake and the south boundary line of Lot 1 of said Block 4, extended westerly to the W boundary line of said Big Payette Lake, *and*, approximately 5.84 acres of land adjacent to said parcel in Gov't Lot 2 below the ordinary high water mark of Big Payette Lake, Situate in Sections 8 & 9 T18N, R3E, B.M., City of McCall, Idaho.

Not a Public Hearing

(continued on following page)

**Pre-App: Conditional Use Permit
450 S Samson Trail – IMPACT AREA**

Jeff Hatch of Hatch Architecture for Carmello Echanis

A preliminary development plan review application for a conditional use permit to develop RV self-storage condominiums and contractors' office and warehouse space. The property is zoned CC – Community Commercial, is located along the S Samson Trail Scenic Route, and is more particularly described as:

Tax No. 184, situate in the SE ¼ of the SE ¼ of Section 16, T18N, R3E, B.M., Valley County, Idaho.

Not a Public Hearing

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. Items listed are considered routine by the Commission and will be enacted with one motion unless a commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

Findings of Fact & Conclusions of Law from June 6, 2023, P&Z Commission Agenda & Review

Comprehensive Plan Amendment (ACTION ITEM)

Public Facilities, Utilities & Services; McCall Fire District Impact Fee Study & CIP

Garrett de Jong & William Gigray for McCall Rural Fire District

An Application to consider an amendment to *The City of McCall In Motion 2018 McCall Area Comprehensive Plan* by the amendment of the *Public Facilities, Utilities, and Services, Goals + Policies* of the Comprehensive Plan by the addition of a new Goal 8 and Policy 8.1 for the purpose of enacting an ordinance and entering into the intergovernmental agreement with the McCall Fire Protection District for the collection and expending of development impact fees for the Fire District's systems improvements as identified in the *McCall Fire Protection District Impact Fee Study and Capital Improvement Plan* Final Report – June 2022 (the "Capital Improvements Plan") to be appended to the Comprehensive Plan as Appendix A.

PUD-22-01, SUB-22-05, DR-22-02 (ACTION ITEM)

TBD Pinedale Street – Jeff Likes for Urban Design & Build

An application for a Planned Unit Development Preliminary Plan and Subdivision Preliminary Plat to construct 14 townhouse dwelling units on a 1.78-acre parcel. The property is zoned R8 – Medium Density Residential and is more particularly described as:

Amended Tax Parcel No. 302 in Government Lot 3, situate in the NW ¼ of the SW ¼ of Section 8, T18N, R3E, B.M., Valley County, Idaho.

PUDF-23-02 & FP-23-02 (ACTION ITEM)

176 Coy Rd – (IMPACT AREA)

Coy Estates Subdivision – Denise Carter & Corby Garrett

An application for a Planned Unit Development Final Plan and Subdivision Final Plat to create 8 single-family lots out of an existing parcel of 9.22 acres. The property is zoned R1 – Residential 1 Acre, and is more particularly described as:

Tax Parcel No. 22, situate in the E ½ of the SE ¼ of Section 18, T18N, R3E, B.M., Valley County, Idaho.

MPA-23-01 (ACTION ITEM)

131-141 E Stibnite St

Brian Kirkwood for Rustic Village II HOA

A petition for a Minor Subdivision Plat Amendment to vacate undeveloped Lots 9 and 16 and dedicate as part of the Common Area Parcel. The property is zoned R8 – Medium Density Residential and is more particularly described as:

The Amended Rustic Village II Condominium Subdivision, situate in the N ½ of the NW ¼ of the NW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

DR-23-11 & SR-23-10 (ACTION ITEM)

1440 Warren Wagon Rd – IMPACT AREA

Jon Walker for Quaker Hill

A Design Review and Scenic Route Review application to create an addition and to remodel a portion of an existing cafeteria resulting in a 9,752 square foot structure adjacent to Warren Wagon Road, a designated scenic route. The property is zoned R4 – Low Density Residential and is more particularly described as:

Tax Lot Number 56 situate in the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., Valley County, Idaho.

DR-23-12 & SR-23-09 (ACTION ITEM)

2058 Eastside Way– IMPACT AREA

Mike Robnett for Scott Adcock

An Application for Design Review and Scenic Route Review to construct a 2-story, 4,062 square foot addition to an existing garage structure to add 1,629 square feet of living space and additional 2,433 square foot garage. The final structure will total 6,657 square feet. The property is zoned RR – Rural Residential, is located along the Eastside Drive Scenic Route, and is more particularly described as:

Lot 2 of Block 1 of the Spruce Grove Subdivision, situate in a portion of the SW ¼ of the NE ¼ of Section 2, T18N, R3E, B.M., Valley County, Idaho

DR-23-13 & SH-23-04 (ACTION ITEM)

1860 Warren Wagon Rd – IMPACT AREA

MDPI for Jared Wray

An Application for Design Review and Shoreline Environs Review to construct a new single-family home totaling 8,221 square feet, including three levels of living space, and attached 976 square foot garage, and lakefront covered patios and deck. The property is zoned R4 – Low Density Residential, is located The Shoreline Zone of Payette Lake, and is more particularly described as:

Tax No. 34 and the S ½ of Tax No. 53 in Government Lot 1, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho.

DR-23-14 & SH-23-05 (ACTION ITEM)

2107 Water Lily Ln – IMPACT AREA

Jevon Truex for Bart Longson

An Application for Design Review and Shoreline Environs Review to construct a new two-story single-family residence totaling structure totaling 7,338 square feet including an attached garage. The property is zoned R4 – Low Density Residential, is located along the Shoreline Zone of Payette Lake, and is more particularly described as:

Lot 2 of Block 1 of the Cove Replat of the State Subdivision, situate in section 34, T19N, R3E, B.M., Valley County, Idaho

DR-23-15 & SH-23-06 (ACTION ITEM)

910 Wagon Wheel Rd– IMPACT AREA

Kevin Schalk of Glancey Rockwell for Brent Lloyd

An Application for Design Review and Shoreline Environs Review to construct a new single-family residence totaling 5,851 square feet of structure size including attached garage and covered patio areas. The property is zoned R4 – Low Density Residential, is located along the Shoreline Zone of Payette Lake, and is more particularly described as:

Lot 141 abd the W 1/3 of Lot 142 of the Amended Payette Lake Cottage Sites, situate in Section 28, T19N, R3E, B.M., Valley County, Idaho

VAC-23-01 (ACTION ITEM)

TBD Simmons St/Simmons St ½ ROW

Steve Callan

A petition for vacation of the public right-of-way of Simmons Street along the frontages of Lots 1-10, Block 2, Riverside Subdivision to allow for the construction of a private street built to City standards. The property is zoned I – Industrial and is more particularly described as:

A Westerly Portion of the Right-Of-Way of the Riverside Subdivision, situate in the W ½ of the NW ¼ of the SW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

ROS-22-15 (ACTION ITEM)

208 Thula St

Michael McLean

A revision & reissuance of Findings of Fact and Conclusions of Law for an application for a Record of Survey for a lot split to allow for future development of the northern section of the existing property. The original Lot configuration approved proved infeasible for development of the site and the survey was not recorded to be replaced with a revision. The existing lot of 1.04 acres will be split to result in 2 lots, one lot of 0.257 acres and one of 0.679 acres, respectively. The property is zoned R4 – Low Density Residential, is in the McCall City Limits, and is more particularly described as:

McCall Acreage Tax No. 117, situate in the SE ¼ of the NW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

4. OLD BUSINESS

DR-23-05 & SR-23-03 (ACTION ITEM)

120 E Lake St - Eric Anderson of ALC Architecture for Ryan Johnson

An application for Design Review and Scenic Route Review to construct a new single-family residence totaling 4,500 square feet including attached garage, basement, 2 floors of living area and a loft. The property is zoned R16 – High Density Residential, is located along the Lake St/State Highway 55 Scenic Route, and is more particularly described as:

Lot 12 of Block 1 of the Amended Williams-Mayfield Addition lying in Government Lot 4, situate in Section 9, T18N, R3E, B.M., City of McCall, Idaho

PUBLIC HEARING

CUP-23-03 (ACTION ITEM)

TBD Oakwood Dr – IMPACT AREA

Martin Potucek

An application for a Conditional Use Permit to construct and operate an 834 square foot agricultural shed structure as the primary structure and use on a Residentially zoned property. Shed will provide propagation space and storage for landscaping materials and will not require utilities. The Property is Zoned R4 – Low Density Residential and is more particularly described as:

Lot 13 of Group D of Payette Lakes Club Subdivision, situate in the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

5. NEW BUSINESS

No New Business

6. OTHER

- **Signs approved administratively:**
 - McCall Airport Sign Plan – 336 Deinhard Lane
 - The Spot McCall – 149 E Lake St
 - The Christmas House – 136 E Lake St
- **Upcoming Meeting Agenda – August 1, 2023 – Tentative**
 - SR-23-13 – 1076 Mo’s Way – Single-family dwelling (Consent Only)
 - CUP-23-05 & DR-23-17 – 400 Krahn Ln – Mixed Use/Self Storage
 - DR-23-18 & SR-23-11 - 415 S Samson Trl – Accessory Building
 - DR-23-13 – TBD Crescent Rim Dr – Single-family Dwelling TBD
 - Appeal of FPDP-23-01 – 221 Morgan Dr

7. ADJOURNMENT

American with Disabilities Act Notice: The Planning and Zoning Commission meeting room is accessible to persons with disabilities. If you need assistance, contact City Hall at 634-7142. Please allow 48 hours.

McCALL AREA

PLANNING AND ZONING COMMISSION

Minutes

May 2, 2023 – 4:30 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference
216 E Park St, McCall, ID 83638

This meeting will be a hybrid, in-person and virtual meeting. Use a phone to call 208-634-8900, when prompted enter **Conference ID 205 293 751#**. If there are any questions, contact Brian Parker, City Planner (bparker@mccall.id.us).

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MEETING – Begins at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Dave Petty, Ryan Kinzer, Liz Rock, Tony Moss (Arrived At 4:56pm). Commissioners Tom Mihilfeith and Dana Paugh were absent.

1. REVIEW & APPROVAL OF MINUTES

Commissioner Rock moved to Adopt the Agenda as Posted/Amended. Commissioner Kinzer seconded. Unanimous

- **April 4, 2023 Minutes**

Commissioner Kinzer Moved to approve the minutes. Commissioner Rock seconded. Unanimous.

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

Pre-App: Rezone & Conditional Use Permit – “Country Club” aka Municipal Golf Course 924, 925 Fairway Dr & 900 Reedy Ln – Eric McCormick

A pre-application for a Zoning Map Amendment (Rezone) and Conditional Use Permit to Rezone the McCall Municipal Golf Course Properties to Civic and update the Golf Course Conditional Use Permit to provide clear language regarding Golf Course Events, future expansions and improvements that appear within the Golf Course CIP and other goals of the Municipal Golf Program. The Properties are Zoned R4 – Low Density Residential and are more particularly described as:

A parcel of land situate in the S 1/3 of Section 4 and the SW and SE ¼ corner of the SW corner of Section 3, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

A parcel of land situate in the NW corner of the NW ¼ of the NW ¼ of Section 10, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Part of the McCall Acreage situate in the SW ¼ of the NW ¼ of the NW ¼ of Section 10, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

A portion of Unit 1, Block 5 of the Timberlost V Subdivision situate in the NW ¼ of the SW ¼ of the NW ¼ of Section 10, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

McCall Tax Parcel Number 7-A situate in the SW ¼ of the NW ¼ of Section 10, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

McCall Tax Parcel Number 22 situate in the N ½ of Section 10, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

McCall Tax Parcel Number 23 situate in the N ¼ and the S ¼ of Section 10, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

McCall Tax Parcel Number 18 situate in the NE 1.4 of the NW 1.4 of Section 10, T18N, 3E, B.M., City of McCall, Valley County, Idaho.

Not A Public Hearing

Eric McCormick, City of McCall Golf Course Superintendent, presented the preliminary development plan review year-round bathrooms, permanent event plaza with sound buffering, addition on the clubhouse for simulator, addition to maintenance/storage shed. Bathrooms are planned for 5 Birch/7 Birch. Commissioners had limited questions relating to the fate of the Event Tent, as well as encouragement to pay close attention to the mailing/public noticing list when the time comes.

~~Pre App: Conditional Use Permit – Bed & Breakfast (IMPACT AREA)~~

~~TBD S Samson Trl – Cody Monroe~~

~~A Pre-application to construct a new Bed & Breakfast with 4 Bedrooms, 4.5 Bathrooms, a conference room, and 6,556 square foot garage. The property is zoned R1, Residential 1 unit per acre, is located along the S Samson Trail Scenic Route, and is more particularly described as:~~

~~Tax No. 112 in the S ½ of the NW ¼ of Section 22, T18N, R3E, B.M., Valley County, Idaho~~

~~Not a Public Hearing~~

Pre-Applicant did not attend meeting, item was not discussed.

3. CONSENT AGENDA

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Findings of Fact & Conclusions of Law from March 7, 2023, P&Z Commission Agenda & Review SR-23-02 ONLY (ACTION ITEM)

1013 Kaitlyn Loop – John Gonda for Vickie & Louie Fund

An application for Scenic Route Review of a new single-family dwelling along the Lick Creek Road Scenic Route, with Design Approval granted by the Architectural review committee of Lick Creek Meadows Subdivision. The structure is located within the R4 – Low Density Residential Zone, is located within Lick Creek Road Scenic Route and is more particularly described as:

Lot 28 of Block 2 of Phase 2 of the Lick Creek Meadows Subdivision, situate in the SE ¼ of Section 3, T18N, R3E, B.M., City of McCall, Valley County, Idaho

Not A Public Hearing

DR-23-03 (ACTION ITEM)

651 Stockton Dr – Leo Stoddard (IMPACT AREA)

An application for Design Review to construct a new single-family residence totaling 7,738 square feet with an attached garage and covered wrap-around porch.. The property is zoned R1 – Residential 1 Acre; and is more particularly described as:

Tax No. 43, Lot 15 of Block 1 of the West Place Subdivision, Situate in the NE ¼ of the SW ¼ of Section 15, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING Not a Public Hearing (Amended 5/2/2023)

CUP-23-01 (ACTION ITEM)

1755 Warren Wagon Rd – Clare Dreyer (IMPACT AREA)

An application for a Conditional Use Permit Application for a CUP to entitle a commercial business (Salon & Retail) in a residential zone. The property is zoned R4, is located along the Warren Wagon Rd Scenic Route, and is more particularly described as:

Tax No. 28 in Gov't Lot 2, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING Not a Public Hearing (Amended 5/2/2023)

FP-23-01 & PUDF-23-01 (ACTION ITEM)

River Ranch Phase 2 – Devon Spickard for the River Ranch Company

An application for a final plat and final development plan for a 27 lot subdivision on a 126.67 acre parcel. 26 of the parcels are residential, and one (1) parcel is a non-buildable common lot. The property is zoned RE –Residential Estate; and is more particularly described as:

Located in the S ½ of Section 20 and the N ½ of Section 29, T18N, R3E, B.M., City of McCall, Valley County, Idaho.

Not A Public Hearing

Commissioner Rock moved to approve the consent agenda. Commissioner Kinzer seconded. Unanimous.

4. OLD BUSINESS

DR-23-04 & SR-23-08 (ACTION ITEM)

TBD Stibnite St – Kerstin Dettrich for McCall Donnelly Joint School District

An application for Design Review to develop the school district staff housing site and review necessary site planning and entitle the construction of one (1) cottage and one (1) multifamily building with eight (8) units. The property is zoned R8 – Medium Density Residential; and is more particularly described as:

Part of Tax Parcel No. 80 in the NW ¼ of the N/W ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

Not a Public Hearing

Mr. Parker provided the staff report and mentioned that concerns regarding undergrounding of powerlines would be met through a partnership with the City at such time as Idaho Power prioritizes undergrounding the full length of Mission Street. The Findings & Conclusions draft reflects this partnership language to still meet all code requirements.

Commissioner Kinzer moved to approve DR-23-04 and SR-23-08. Commissioner Rock seconded. All Commissioners voted aye and the motion carried.

DR-22-27 & SH-22-05 (ACTION ITEM)

1410 Mill Rd – David Carey & Wayne Ruemmele – ‘The Glass House’

An application for Design Review and Shoreline Review to entitle the renovation of an existing building, and landscaping improvements to support a variety of commercial uses. The property is zoned CBD – Central Business District; is located within the Shoreline Zone of Payette Lake; is within the Railroad Avenue Urban Renewal District (Sunset in 2022) and is more particularly described as:

Lots 7-10 of Block 5 of McCall’s First Addition, situate in Section 9, T18N, R3E, B.M., City of McCall , Valley County, Idaho.

PUBLIC HEARING

Commissioner Rock moved to continue DR-22-27 and SH-22-05 to the June 6, 2023 P&Z Meeting. Commissioner Kinzer seconded. All commissioners voted aye.

DR-23-01 & SH-23-01 (ACTION ITEM)

2255 Edgemere Lane – Eric Anderson for Colby Smith

An application for Design Review to construct a new single family home totaling 3,821 square feet along and new landscaping along the lakefront of Payette Lake. The property is zoned R4 – Low Density Residential; is within the Shoreline Environs Zone of Payette Lake and is more particularly described as:

Lot 12 of the Luck’s Point Subdivision less Tax No. 32, situate in Section 26, T19N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Tony Moss joined the meeting at 4:56pm

Eric Anderson presented the Application to construct a new single-family residence at 120 E Lake St.

Mr. Parker presented the Staff Report mentioning the application does “max out” most dimensional standards within the applicable Impact Area Code. The unique aspect of this application that the applicants have been made aware of is that due to their need to survey for where the Ordinary High Water Mark actually is, they will be subject to a Condition of Approval to verify the OHWM prior to issuance of a building permit, and come through the process again if any modifications to the project must be made due to mis calculation.

Chairman Lyons opened and closed the public hearing with no comment from the public.

Commissioners stated some concerns with the submission of plans that do not meet some basic dimensional standards and do not have an accurate landscaping plan without a lawn in the shoreline setback.

Commissioner Rock moved to approve with the added condition of approval that prior to the issuance of Building Permit the applicant shall provide an updated landscaping plan with no lawn in the shoreline setback. Commissioner Kinzer seconded. All commissioners voted aye and the motion carried.

5. NEW BUSINESS

(ACTION ITEM)

McCall Fire Development Impact Fees:

Consider setting a public hearing and authorizing staff to publish and serve notice of the Commission's consideration of an application for an amendment to the City's Comprehensive Plan to amend the *Public Facilities, Utilities, and Services, Goals + Policies* of the Comprehensive Plan regarding intergovernmental agreement with and ordinance for development impact fees for McCall Fire Protection District and to include the Fire District's Capital Improvement Plan as Appendix A.

Not A Public Hearing

Bill Punkoney and Michelle Groenevelt presented the request to schedule a Public Hearing and authorize staff to publish and serve notice of the McCall Fire Commission's consideration of the application for an amendment to the City's Comprehensive Plan. The process would begin with the appointment of an advisory committee to review the Capital Improvements Plan for the Fire District and explore the needs of the Fire District as related to potential Development Impact Fees to fund District Improvements.

DR-23-05 & SR-23-03 (ACTION ITEM)

120 E Lake St – Eric Anderson of ALC Architecture for Ryan Johnson

~~An application for Design Review and Scenic Route Review to construct a new single-family residence totaling 4,500 square feet including attached garage, basement, 2 floors of living area and a loft. The property is zoned R16 – High Density Residential, is located along the Lake St/State Highway 55 Scenic Route, and is more particularly described as:~~

~~Lot 12 of Block 1 of the Amended Williams-Mayfield Addition lying in Government Lot 4, situate in Section 9, T18N, R3E, B.M., City of McCall, Idaho~~

PUBLIC HEARING

DR-23-06, SR-23-05 & SH-23-05 (ACTION ITEM)

149 E Lake St – David Peugh of Epikos Design for James Harrison

An application to develop a Temporary Food Truck/Vendor Court to provide up to 5 spaces for Licensed Food Trucks to locate and sell their product as well as provide an outdoor dining/seating area, bear-proof trash disposal container, an electrical hookup to provide power, and some stormwater detention space. The Property is located in the CBD – Central Business District and Downtown West Urban Renewal District, is located along the Lake St/State Highway 55 Scenic Route, and is more particularly described as:

Tax No.'s 158A-3;158B-2 and 295 in Government Lot 4, situate in Section 9, T18N, R3E, B.M., City of McCall, Idaho.

PUBLIC HEARING

Tommy Harrison, part-owner of 149 E Lake St in McCall and Emily Bettin of Epikos Design & Planning presented the application for a Temporary Food Vendor Court. Ms. Bettin of 303 Colorado St presented the site and landscaping plan as a unique, pedestrian-oriented application for a Food Truck Court and emphasized the function of food truck courts in history as being effective incubator spaces for what tend to become successful restaurants. Ms. Bettin emphasized that revisions to the plan have incorporated requirements from McCall PD, McCall Public Works, Idaho Transportation Department and the public as much as possible, especially including additional landscaped planter beds along the site plan, trellises, and drip irrigation in the summer season. Permanent Landscaping will be installed along

the side property boundaries with permanent landscaping in the required Scenic Route Buffer. Power will be available and water will be available via a hose bib with new water meter. At such time as any impervious space is proposed on the site in the future, new stormwater control measures will be explored. Mr. Harrison mentioned that the most use would occur from May through October, but that the entitlement should cover some use during Winter Carnival if vendors wish to continue in Winter. Chairman Lyons asked whether the Yacht Club Dumpster encroaches on the property, the applicants mentioned that it appears to be on the 149 E Lake St Property.

Mr. Parker presented the staff report and reviewed the new Code that was adopted regarding Food Trucks and Vendor Courts in partnership with the office of the City Clerk that had not been considered in McCall City Code prior to that time. The application meets the standards for a temporary food truck court as outlined in that code. Ms. Stroud presented the Engineering Report and mentioned that without permanent structures or other impervious materials the stormwater materials are minimal until such time as there is a permanent development. Commissioner Rock asked whether any bicycle parking would be required and Mr. Parker mentioned that the newest site plan shows bicycle parking near the pedestrian entrance.

Chairman Lyons opened the public hearing

Stacey Kucy of 128 W Lake Fork Rd and owner of Stacey Cake's spoke with concern about the application on the basis of public safety and the lack of any sidewalks proposed along the frontage of the property. She also mentioned concerns about the lack of on-site parking and that the proposal of signage is not enough.

Cori Rice, owner of the Christmas House and Silver Linings at 136 E Lake St spoke in opposition to the application based on the lack of parking and public safety concerns for pedestrians on the blind corners. Ms. Rice mentioned she does feel a Food Truck Court would be nice somewhere, but not in the proposed location. She also mentioned that the 1st St Parking lot should not be relied upon at this time as it will not be entirely accessible the first 2 years.

Steve Shoemaker, owner of the Sticky Rice Food Vendor Truck, spoke in support of the application and acknowledged that the concerns of the applicants are important. He mentioned it might be helpful to relocate the crosswalk across HWY55 further West to allow drivers better site distance. He also suggested some changes to the Highway Lane Arrangements. He mentioned that the parking problem isn't a food truck problem, but a tourist destination problem.

Peter Vgora of 14211 Adams Circle and co-owner of Keep-Me-In-Stitches, spoke in opposition of the application on the basis of "No Parking/Parking That Way" signage being unseen and poorly placed and the 1st St Reconstruction Project being poorly timed.

Renee Silvas of 147 E Lake St to the West of the property spoke in opposition to the application on the same concerns as others. If approved, Ms. Silvas asked that the property owner be required to create a set of guidelines/rules/norms applicable to the Vendors and others utilizing the property especially relating to using the site for Laundry Drying/Smoking/Loitering.

Brandon Colglazier of 410 S 3rd St spoke in support of the application and agreed with others that parking is greater than a 27-year-old problem for McCall. He disclosed that he does work for the Harrisons. He mentioned that tourists will do what they will do but that isn't cause by food trucks.

Dan Krahn of Krahn's Furniture at 211 E Lake St reiterated that the parking issue is not just 27 years old, but more than 45 years old spoke in opposition to the application in agreement with the previous speakers relating to Parking. Mr. Krahn would prefer to see the application only have a single access like any other CBD property. He also mentioned the 1st & Lake intersection should ultimately be redesigned and realigned. He also mentioned that the function of Temporary Businesses seems detrimental to Brick and Mortar businesses but acknowledges that is probably a City Council Issue. He would also like to see a sidewalk installed by the owners and see the stormwater managed so it does not run into his basement.

Pat Allen of 651 Stockton Dr and Owner spoke with concern about where the delivery trucks will go.

Kerri Stebbins late comment was read into the record (attached to these minutes).

Ryan Parke late comment was read into the record (attached to these minutes).

Chairman Lyons closed the public hearing.

Ms. Bettin provided a rebuttal and mentioned gratitude for the amount of public involvement on the application. She clarified that no vendors would receive deliveries to the property as mentioned in a comment. She mentioned that the grasses they intend to plant in the landscaped planters will likely grow to 4-6 feet tall.

Commissioners asked for some discussion on the need for tenant guidelines/hours of operation as well as insight on future plans for the site. They also asked for some clarification on timing for roadway striping and whether that can be required by the applicant. Ms. Stroud mentioned that striping on Lake Street is subject to Idaho Transportation Department's schedule for highway maintenance. Commissioner Kinzer indicated he would prefer to decrease the term of approval and method of review to less than 5 years. Commissioners asked to change the term of approval to two (2) years and consider no-parking stripe-painting the ground north of the fog line if possible. Commissioners asked about whether the stormwater concerns expressed would be exacerbated by this application and Ms. Stroud mentioned the topography information available does not indicate that being the case.

Commissioner Rock moved to approve DR-23-06 and SH-23-05 and SR-23-05 with the following modifications:

3 – add additional either temporary or permanent landscaped screening

8 – 2-year approval with opportunity to extend for 3 years via administrative approval.

Add – no encroachments or unsuitable uses.

Add – Hours of Operation as set by office of City Clerk.

Commissioner Kinzer seconded. A Roll Call Vote was held.

Rock – Yes, Kinzer – Yes, Moss – Yes, Lyons – Yes, Petty – No.

DR-23-07, SH-23-02 & SR-23-04 (ACTION ITEM)

1870 Warren Wagon Rd – IMPACT AREA

Chad Gierhart & Mike Smithwick for Fox Fairways Properties LLC

An application for Design Review, Shoreline Review, and Scenic Route Review to construct a new Single-Family Residence of 7,838 square feet including an attached garage and new landscaping

within the Shoreline zone. The structure is located within the R4 – Low Density Residential Zone, is located within the Warren Wagon Road Scenic Route Overlay and the Shoreline Zone of Payette Lake, and is more particularly described as:

Tax No. 7 and the N ½ of Tax No 53 in Government Lot 1, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

Corey Barnes and John King of Pivot North Architecture and Mike Smithwick of Jug Mountain Builders presented the application for Design, Scenic Route and Shoreline Environs Review at 1870 Warren Wagon Rd to construct a new Single-Family Dwelling totaling 7,838 square feet. Mr. Barnes has indicated the plans as submitted and updated should meet Impact Area Code after working through some code sections of challenge with the Planning Staff. As many old growth trees as can be preserved will be if possible. The driveway will be reconfigured and be gated with fire access programmed and the home is not visible from the Scenic Route.

Mr. Parker provided the Staff Report. Ms. Stroud provided the Engineering Report the driveway is steeper than standard, appearing to do so to preserve old growth trees. The driveway slope is subject to engineer and fire district approval.

Chairman Lyons opened the public hearing.

Ashley Goul of 1878 Warren Wagon Rd spoke in opposition until such time as the following items be addressed: 1) complete the engineering review of the driveway steepness prior to approval at the commission level, 3) and show the snow removal/snow storage spaces on the plan prior to approval so they as neighbors can provide additional public testimony, 5) and review roof/height excess study/clarification.

Chairman Lyons closed the public hearing.

Mr. King, spoke in response to the requests of the neighbor and mentioned they will fit entirely within all dimensional standards and minimal conditions of approval as requested by staff. He asked that the item not be continued. Commissioner Petty mentioned he did visit the site.

Commissioner Kinzer moved to approve DR-23-07, SH-23-02 & SR-23-04 with conditions as stated Commissioner Rock seconded. All commissioners voted aye and the motion carried.

DR-23-08 & SH-23-03 (ACTION ITEM)

1844 Warren Wagon Rd – IMPACT AREA

Luke Vannoy of MDPI for Brett Troyer & Mindy Marks

An application for Design Review and Shoreline Review to construct a new single-family residence of 5,030 square feet to accompany an existing accessory garage. The property is located in the R4 – Low Density Residential Zone, is located in the Shoreline Environs Zone of Payette Lake, and is more particularly described as:

Tax No. 39 in Government Lot 1, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

Luke Vannoy of McCall Design & Planning at 121 Commerce St presented the application for Design and Shoreline Review for a new single-family home at 1844 Warren Wagon Rd. He has worked with the

applicants and neighbors to formalize a shared driveway agreement as requested by staff. Mr. Vannoy reviewed the 2:1 Side-Setback to Building Height model for the property to show the process in meeting dimensional standards on these tight cottage site lots to show the commission how the structure will fit within the confines of the code.

Mr. Parker presented the staff report. Meets all sections of City Code. Ms. Stroud presented the Engineering Report, no stormwater comments, easement/driveway agreement has been provided.

Chairman Lyons opened and closed the public hearing with no comment from the public.

Commissioners discussed the application and determined that it is an example of a clean, code compliant application without concerns.

Commissioner Rock moved to approve DR-23-08 and SH-23-03 with conditions as stated. Commissioner Kinzer seconded. All commissioners voted aye and the motion carried.

DR-23-09 & SR-23-06 (ACTION ITEM)

997 Squirrel Ln – IMPACT AREA

Emily Stegner-Swartz for John & Paula McCarvel

An application for Design Review and Scenic Route Review to construct a new single-family dwelling totaling 4850 square feet as well as a detached garage with a living unit. The property is zoned R4 – Low Density Residential, is located along the Warren Wagon Rd Scenic Route and is more particularly described as:

Lot 1 of Block 14 of the Southwest Payette Cottage Sites Subdivision, situate in the NE1/4 of Section 32, T19N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

Ms. Stegner-Swartz of Stegner Architecture presented the application for Design Review and Scenic Route Review to construct a new single-family home on a property with 3 street frontages. The structure is designed to allow visibility lines to pass through the property and see further off of the Scenic Route into the old cottage sites while maintaining some privacy for the owners.

Mr. Parker provided the Staff Report. Ms. Stroud provided the Engineering Report.

Chairman Lyons opened and closed the public hearing.

Commissioner Petty move to approve DR-23-09 & SR-23-06. Commissioner Moss seconded. All commissioners voted aye and the motion carried.

DR-23-10 & SR-23-07 (ACTION ITEM)

2212 Warren Wagon Rd – (IMPACT AREA)

Shawn Overmier

An Application for Design Review and Scenic Route Review to construct a new single-family dwelling with 2,984 sf of conditioned space, 2,143 sf of unconditioned space, with a total structure size of 5,127 square feet. The property is located in the R4 – Low Density Residential Zone, is located along the Warren Wagon Rd Scenic Route, and is more particularly described as:

Lot 2 of Block 12 of the Southwest Payette Cottage Sites State Subdivision, situate in the NE ¼ of Section 32, T19N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

Shawn Overmier presented his application for a new single-family residence and has been working with the staff to make revisions to properly meet the building height limit and stormwater requirements.

Mr. Parker presented the staff report. The unique condition to apply as we see more maximum height buildings, staff will be requesting 1 foot topographic surveys to confirm existing/original grade prior to construction so that there are no issues with Building Height during construction. Ms. Stroud presented the engineering report and mentioned Engineering Approval had already been issued so no Engineering related comments or concerns to offer.

Commissioner Kinzer moved to approve DR-23-10 and SR-23-07, Commissioner Moss seconded. All commissioners voted aye and the motion carried.

SUB-23-01 (ACTION ITEM)

TBD Stockton Dr – Stockton Subdivision – (IMPACT AREA)

HECO Engineering for Elva Torres

An application for a Subdivision Preliminary Plat to split a single remainder lot resulting from previous Records of Survey into two (2) new buildable lots. The existing remainder lot totals 2.28 acres. The proposed Subdivision Lots will total 1.00 acres and 1.37 acres, respectively. The property is zoned R1 – Residential, 1 Unit per Acre, and is more particularly described as:

A portion of Lot 16 of Block 1 of the West Place Subdivision, situate in the SW ¼ of the SW ¼ of Section 15, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Jesse Christensen of HECO Engineers presented the application for a two-lot subdivision that was required as a result of multiple Records of Survey creating this remainder parcel, that now requires a complete subdivision process. The applicants are local workforce members hoping to split lots and build their permanent homes on with Ms. Torres retaining one lot and her daughter and daughters husband on the second lot.

Mr. Parker presented the staff report and clarified the reason for the Subdivision Plat being required. Ms. Stroud presented the engineering report and mentioned most of her comments are related to the content of the Plat itself, she also mentioned one driveway being relocated to share with a northerly neighbor or having a shared driveway between the 2 lots would be preferred to make the drainage function properly. Commissioners asked staff to speak more about the driveway locations.

Adrian Esquivel of 429 Virginia Blvd spoke in support of the application by his mother and sister and mentioned the houses will be long term residences for crucial workforce members.

Pat Allen of 651 Stockton Dr spoke in opposition to the application based on the density being more than previous owners had split the property. Mr. Allen provided a picture to show the direction of the stormwater during this snowmelt season. He also mentioned concern about the well depth of neighbors and doubt that more wells could pass a perc test. Mr. Allen also mentioned he did not feel staffs' reviews are valid.

David Ball of 375 May Rd to the north of the proposal shared the same concerns of Mr. Allen and mentioned he worries about the availability of water with shallow wells in that area. He encouraged the commissioners to visit the site to observe the site.

Chairman Lyons closed the public hearing.

Mr. Christensen commented that the well-related concerns and stormwater concerns are helpful to hear but that they can and have been addressed from an engineering standpoint that will be required and crucial for the process.

Commissioner Rock moved to approve SUB-23-01 adding a requirement to review Title Report and Subdivision Records, Commissioner Kinzer Seconded. Unanimous.

PUD-22-01, SUB-22-05, DR-22-02 (ACTION ITEM)

TBD Pinedale Street – Jeff Likes for Urban Design & Build

An application for a Planned Unit Development Preliminary Plan and Subdivision Preliminary Plat to construct 14 townhouse dwelling units on a 1.78-acre parcel. The property is zoned R8 – Medium Density Residential and is more particularly described as:

Amended Tax Parcel No. 302 in Government Lot 3, situate in the NW ¼ of the SW ¼ of Section 8, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Commissioner Rock continued PUD-22-01, SUB-22-05 and DR-22-02 to June 6. Commissioner Petty seconded. All commissioners voted aye and the motion carried.

6. OTHER

- **Signs approved administratively:**
 - RPM Automotive – 193 Industrial Loop
- **Tentative Additional Meeting Dates for May 2, 2023 Agenda Items**
- **Upcoming Meeting Agenda – June 6, 2023 – Tentative**
 - FP-23-02 & PUDF-23-02 – TBD Chad Dr – Coy Estates Final Plat & Plan
 - Minor Plat Amendment – Rustic Village
 - VAC-23-01 – Vacation of Simmons St ROW relating to SUB-22-06 (Callan)
 - DR-23-11, SR-23-10 – 1440 Warren Wagon Rd - Quaker Hill Camp, Remodel
 - DR-23-12, SR-23-09 – 2058 Warren Wagon Rd – Single-family Dwelling
 - DR-23-13 – TBD Crescent Rim Dr – Single-family Dwelling
 - DR-23-14, SH-23-04 – 910 Wagon Wheel Rd – Single-family dwelling
 - DR-23-15, SH-23-05 – 2107 Water Lily Ln – Single-family dwelling
 - DR-23-16, SH-23-06 – 1860 Warren Wagon Rd – Single-family dwelling

7. ADJOURNMENT

Commissioner Moss moved to adjourn. Commissioner Rock seconded. All commissioner voted aye and the meeting adjourned at 8:12pm.












Signed:

Attest:

Robert Lyons, Chairman
McCall Area Planning and Zoning Commission

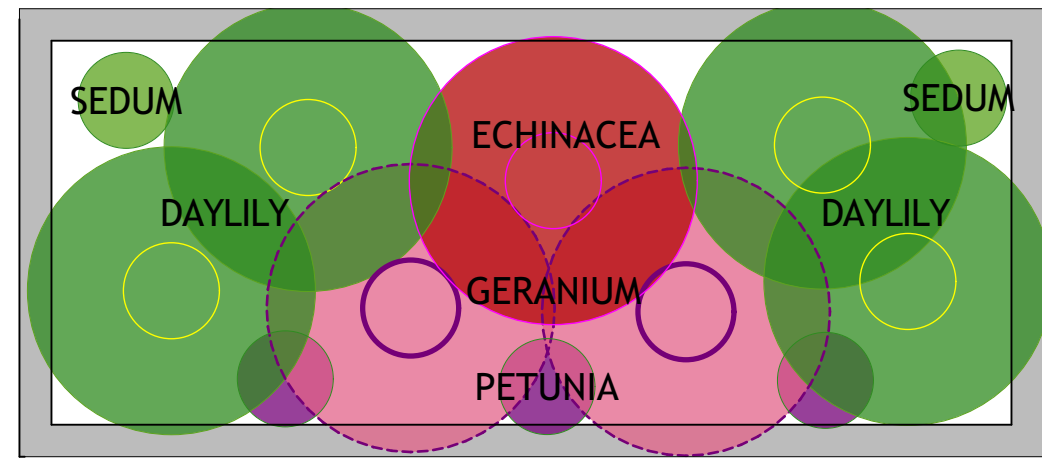
Brian Parker
City Planner

PLANTING SCHEDULE

TREES	QTY.	BOTANICAL NAME	COMMON NAME	SPACING	COMMENTS
	5	Picea pungens	Black Hills Spruce	SEE PLAN	5-8' tall
	5	Populus tremuloides	Quaking Aspen	SEE PLAN	In containers
SHRUBS	QTY.	BOTANICAL NAME	COMMON NAME	SPACING	COMMENTS
	27	Amelanchier alnifolia	Serviceberry	24" O.C.	1 gallon, bushy
	7	Cornus sericea	Red Twig Dogwood	48" O.C.	1 gallon, bushy
	20	Salix bebbiana (or approved alt.)	Native Willow	36" O.C.	1 gallon, bushy
FORBS	QTY.	BOTANICAL NAME	COMMON NAME	SPACING	COMMENTS
	70	Deschampsia cespitosa	Tufted Hairgrass	12" O.C.	6" pots
	43	Hemerocalis spp.	Daylily	18" O.C.	6" pots
	35	Echinacea purpurea	Coneflower	18" O.C.	6" pots
	16	Geranium	Hardy Geranium	18" O.C.	6" pots
	18	Humulus lupulus	Hops	8" O.C.	6" pots
	24	Sedum spp.	Sedum	10" O.C.	6" pots

PLANTING NOTES

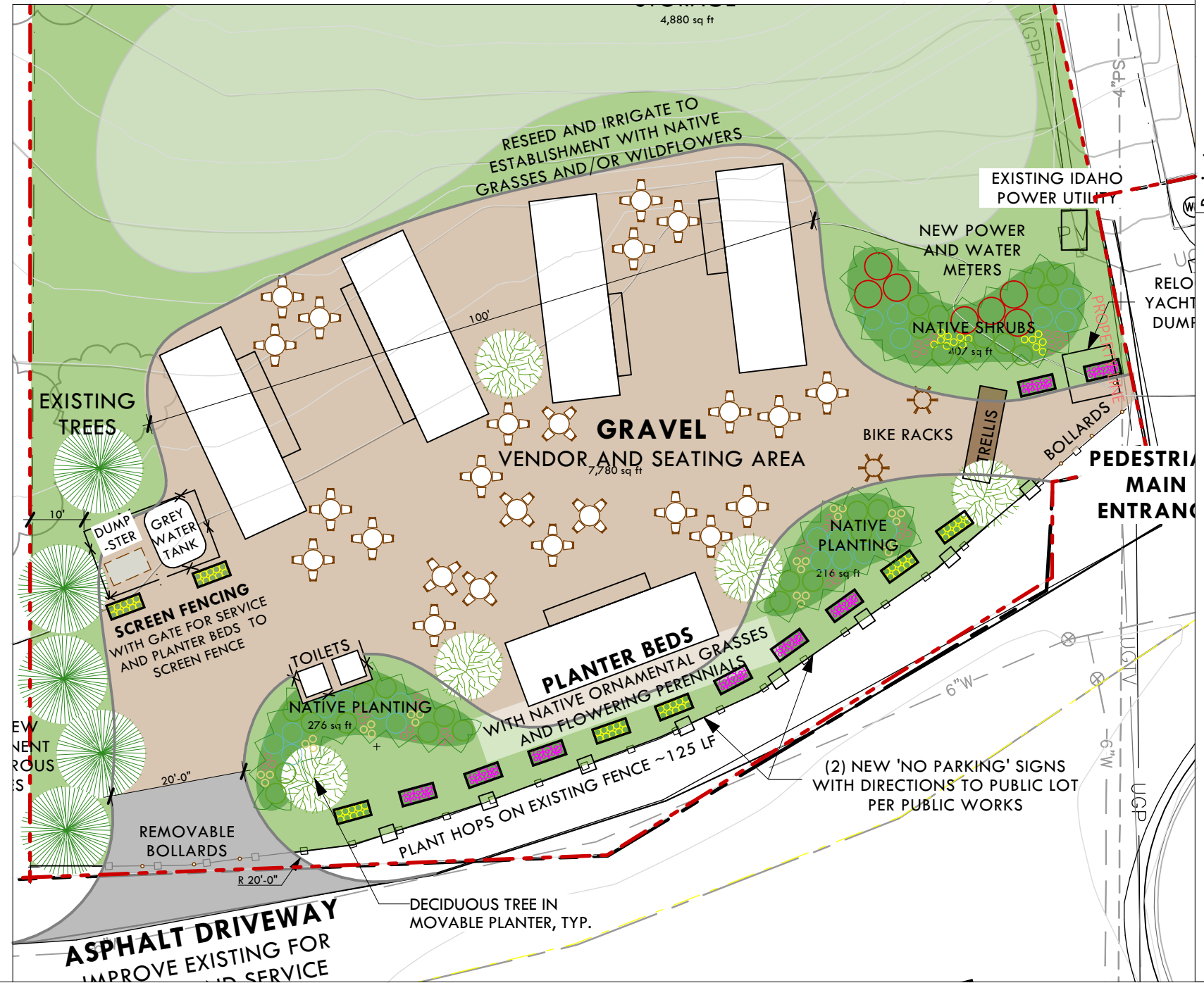
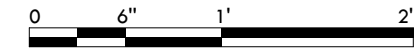
1. Location of all trees and shrubs shall be placed by the contractor and approved by the landscape designers prior to final planting.
2. Verify locations of all pertinent existing site improvement and utilities already installed prior to commencing planting work. If any part of this plan cannot be followed due to site conditions, contact the landscape designer for instructions prior to commencing work.
3. Plant quantities symbolically shown on plan take precedence over written instructions.
4. Align and equally space in all directions, ground covers and perennials per these notes and drawings. Infill bark mulch between plantings.
5. It is the contractor's responsibility to furnish plant material free of pests or plant diseases. Pre-selected "tagged" material must be inspected by the contractor and certified pest and disease free. It is the contractor's obligation to warranty all plant materials for one full year from time of planting.
6. Hold finish grades (top of mulch) for shrubs and ground cover areas 1" below top of adjacent pavements, curbs, headers unless otherwise noted on the drawings.
7. Contractor shall furnish and spread a minimum of 4" of topsoil in grass areas and 12" of topsoil in ground cover and shrub areas.
8. Contractor shall design and install an in-ground, automatic irrigation system, with head-to-head coverage to cover all new seed and ground cover plantings. Irrigation system should be fully operational prior to any planting. All trees, shrubs and perennials shall be drip irrigated.
9. All trees planted in grass areas shall receive a 1 1/2" bark in a 12" radius circle around trunk.
10. All plant material shall be watered thoroughly within one hour of installation.
11. All un-planted plant material's root balls shall be kept moist prior to planting.



2

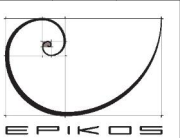
PERENNIAL BED (8)

SCALE: 1" = 1'-0"



Date: 6/6/2023
 Scale: 1" = 20'
 Project No.: #PIn
 Field Notice No.: 1.4

Project: FOOD TRUCK COURT
 Location: 149 E LAKE ST MCCALL ID 83638
 Title: CONCEPT PLAN



SCALE: 1" = 20'
 0 10' 20' 40'

1
 303 COLORADO STREET | PO BOX 2490 | Mccall ID, 83638 | (208) 634-4540

RE: proposed food truck park

April 25, 2023

McCall Planning & Zoning Commission

Robert Lyons, Chair

Christina Nemec, Vice Chair

Ryan Kinzer

Liz Rock

Tim Muhlfeith

Tony Moss

RECEIVED
MAY 01 2023

Ladies and Gentlemen:

We are the neighbors at 147 E. Lake Street immediately to the West of the proposed food truck park. We have never had the pleasure of meeting our neighbors who own the property next door and invite them to contact us directly if they desire. I grew up in Caldwell and have owned 147 E..Lake since July, 2000. We recently became Idaho and McCall residents again.

We are not reflexively against all development in McCall and want our fellow residents to have expanded opportunities for employment and fulfillment. We are very concerned that any such development be advanced in concert with McCall's best long-term interests kept in mind. Since we are not familiar at all with any details of the project and will not be back in town until the end of May we submit this letter to express concerns and questions.

How does the project intend on addressing parking issues? Although there is the public lot on First Street next to Albertsons, people don't seem to be aware of it or choose to ignore it. This means that the project will create possible parking violations on the north and south sides of the street in addition to using space in both Albertson's lot as well as the strip center across the street. As we all know, Albertson's is constantly full as well as the few spots in the strip center. Finally, some folks choose to ignore our driveway and sometimes block and park there.

How many food truck units are proposed?

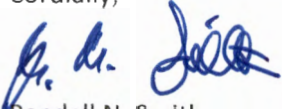
With regard to some items that I would suggest are in the category of common sense if the project(or any project in that location) moves ahead. In no particular order of importance:

1. The area presently has a single point of entry next to our driveway on the West/residential side which creates parking issues and has a tendency to "bunch" folks there. It also requires folks walking from the town to pass by the entire property and enter from the extreme West side. The entrance should be moved to the opposite(East) side of the property to get folks to enter from the existing stores side of town, not the residential side.

2. Likewise with the porto-potties. This past summer the porto-potty was located on the West side of the property instead of immediately next to the large trash receptacle immediately to the East side of the property. I don't want to tell someone how to run their business but the porto-potty on the West side of the property location was all you could see when walking West from town- not what I would want to lead with if I am promoting my business. Whereas on the East side of the property the units could be effectively hidden from the sight of folks walking West behind the large trash receptacle or the Yacht Club itself. In any event, the porto-potties should be on the East side of the property next to the commercial activity, not the residential side.
3. Last summer there was a gentleman associated with the vendor who apparently decided to do his laundry every week and hang it on the fence. Leaving aside the questionable business judgment associated with such activity(how exactly does that attract people to a food business?) extraneous activity not necessary to carry on any business approved should be prohibited.
4. Any business activity should have rules concerning noise and hours of operation. I would think that a reasonable closing time so close to residential properties would be about 9 p.m.

Thanks very much.

Cordially,



Randall N. Smith

147 E. Lake Street

PO Box 509

McCall, Idaho 83638

Cell phone 310 433-6556

From: [Kerri Anne Stebbins](#)
To: [Brian Parker](#)
Subject: A(nother) message in support of the proposed food truck park
Date: Tuesday, May 2, 2023 3:41:34 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi, Brian!

Reaching out to share a public comment in support of the proposed food truck park in downtown McCall.

When my parents were in town to visit this past September, the ability to take them out to lunch at the Sticky Rice food truck didn't mean we weren't enthusiastically patronizing local restaurants while they visited [including Stacey Cakes, North Fork Coffee, and a special anniversary dinner at Rupert's, just to name a few]; it simply meant that instead of cutting my mom's downtown shopping spree short in order to make lunch at home one day they were here, we all enjoyed eating together at the location of the proposed food truck park, and, revitalized by some fried rice, my mom continued merrily walking into every single storefront in the downtown area. Food trucks in one centralized location in the downtown area will draw people to McCall and make them excited to visit [it's a simple premise that works every single year for a variety of special events and weekend (or week-long) festivities], and it's difficult to argue that more people being excited to visit McCall [and/or at least giving them more reasons to be excited] would be bad for businesses and the community as a whole.

Donning another hat now to express additional support for exactly this sort of project, as one of the co-founders and co-owners of [McCall Made](#), I can tell you without hesitation that as a collective group of local makers and local small business owners, we would be THRILLED about a food truck park being so nearby. As grateful as we are that it's hopefully happening now, we would have been happier still had this project been able to come to fruition when we first opened McCall Made back in 2021.

"Community over competition" is McCall Made's motto, and it's what McCall needs now more than ever.

More and *sustained* foot traffic will be good for every single business downtown, and beyond.

A chance for both locals and visitors alike to support family-run food trucks and enjoy a variety of culinary options not otherwise found in McCall—all while increasing the visibility of McCall as a dynamic tourist destination and locals-friendly mountain town? It feels like a very obvious win-win to me. And I know I'm not alone. Everyone I've spoken to about this project has been tangibly *excited*.

Sincerely and still with a great deal of hope for the future of our beloved mountain town,
Kerri Stebbins

Kerri Anne Stebbins [Ladish] (she/her)
Writer & Artist, Nonprofit Manager, Book Marketer
Co-Founder, McCall Made
Central Idaho, USA
[Twitter](#) • [Instagram](#) • [Little Orange Tent \(Art\)](#) • [McCall Made](#)

Co-founder, President • Endless Trails
Nonprofit trail education & advocacy, & Northwest trail races
[Twitter](#) • [Facebook](#) • [Website](#) • [Instagram](#) • [Fundraising Trail Races](#)

From: [Matt Stebbins](#)
To: [Brian Parker](#)
Subject: A message in support of the proposed food truck project
Date: Tuesday, May 2, 2023 2:38:26 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi, Brian!

I know it's late in the game, but wanted to share a comment in support of the food truck project. Downtown McCall is at a crossroads, and many local businesses are struggling—if not simply folding—through a combination of low foot traffic, correspondingly low sales, and skyrocketing rents. A food truck lot would help with that by encouraging greater foot traffic in a way that could benefit many local businesses, just as bringing the farmers' market back downtown can and should help.

Downtown McCall is at its best when families are comfortable walking around and taking their time in local shops, supporting local businesses. Food trucks are a great way to encourage spending part of a day wandering local shops, and have regularly been shown to support local businesses in a way that brick-and-mortar restaurants do not because of the way they encourage patrons to keep moving around town. (And the theory that food trucks hurt brick-and-mortar restaurants? [Has been disproven time and time again.](#))

A food truck venue sounds far better for the downtown McCall ecosystem—and far more family-friendly—than plenty of other events that already exist. (Some of which heavily feature alcohol and which aren't actually good for local businesses. Winter Carnival and the Fourth of July festivities immediately spring to mind.)

McCall's downtown businesses need this help before even more businesses go under. We need things like food trucks and vibrant shops, not more real estate offices.

Matt Stebbins

From: [Peggy Street](#)
To: [Brian Parker](#)
Subject: Food Truck Court
Date: Tuesday, May 2, 2023 3:07:18 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon and thank you for all the time and effort you put into making McCall's growth concerns heard. We love McCall just the way it is. I feel the scenic route down Lake Street would be affected in a very negative way if a food truck park was allowed. The charm of down town Lake street with all the local stores and restaurants would be compromised with trash cans, plastic chairs and temporary vendors. And what about water concerns? Where does that go...to the lake? What about extra Port-a-pottys. It is just not McCall, especially on that wonderful piece of property. I see tourists stopping and taking photos with the lake in the back-ground. And I haven't even mentioned the restaurant , bars and coffee shops owners. . How will this affect them? They pay local employees, who have local children in local schools who pay local taxes to work and the other employees who clean the restaurants and bars. They maintain their properties, making sure the landscaping is attractive....How attractive can a food truck cost be.

Please rethink this proposal. I just feel it is a huge mistake and wrong for downtown McCall.
Thank you, Peggy Street, 205 W. Lake St. McCall, Id.

From: [Ryan Parke](#)
To: [Brian Parker](#); esehloff@epikosdesign.com; lbeck@epikosdesign.com
Subject: Food Truck Court Application
Date: Tuesday, May 2, 2023 3:18:34 PM

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Planning and zoning,

This email is in regard to the current application for a food truck court downtown McCall. As an active participant and advocate in the business and real estate development of McCall, I highly recommend the approval of a small food truck court in the proposed location.

Mine and my business partners McCall ownership and involvement:

- McCall Lake Cruises
- Scandia Inn
- Nordic Inn
- Fircrest Plaza
- Local property management
- Local housing - single family home construction and subdivision development (Maddyn Homes)

Food trucks, and the culture that comes with the atmosphere, are highly beneficial to the local area, its residents, and businesses. I believe that it provides unity, cultural awareness, and promotes increased activity within the community. Some of the best conversations are shared over food!

Since 2008, the food truck industry has grown to over a 2 billion dollar industry in and of itself. The growth of this model will undoubtedly continue. One example of the positive influence a food truck culture can provide is quoted below: "Moreover, in Seattle's thriving culinary scene, restaurants have seen 16% growth, even with the influx of food trucks in the area, suggesting food trucks may bolster the restaurant industry in a city (or at least, they don't hurt neighboring food establishments)."

<https://reliablewater247.com/pros-and-cons-of-food-truck-culture/>

As the owner of the business directly next door, McCall Lake Cruises, I am confident that the final product will be beneficial to the community, appealing to the eye, and continue right along with the larger community and city goals of McCall and its residents. I am also willing as a local resident to do all that I can to ensure that outcome.

Thank you,

--

Ryan Parke
530.377.4163

McCALL AREA PLANNING AND ZONING COMMISSION

Minutes

June 6, 2023 – 4:30 p.m.

McCall City Hall – Lower Level & MStTeams Teleconference
216 E Park St, McCall, ID 83638

This meeting will be a hybrid, in-person and virtual meeting. Use a phone to call 208-634-8900, when prompted enter **Conference ID 205 293 751#**. If there are any questions, contact Brian Parker, City Planner (bparker@mccall.id.us).

The Legion Hall's Occupancy Capacity is 32. The Commission Members and staff who are anticipated to be in attendance is 8. The first 24 persons who appear will be allowed to be present in the meeting location. All other persons may be in attendance virtually.

MEETING – Began at 4:30 p.m.

CALL TO ORDER AND ROLL CALL – Commissioners Robert Lyons (Chair), Dave Petty, Ryan Kinzer, Liz Rock, Tony Moss, and Dana Paugh were present. Commissioner Tom Muhlfeith was absent. Brian Parker (City Planner), Meredith Todd (Assistant City Planner), Morgan Stroud (Staff Engineer) were also present.

1. REVIEW & APPROVAL OF MINUTES

- ~~May 2, 2023 Minutes~~

2. PRELIMINARY DEVELOPMENT PLAN REVIEW MEETINGS

Pre-App: Conditional Use Permit – Bed & Breakfast (IMPACT AREA)

TBD S Samson Trl – Cody Monroe

A Pre-application to construct a new Bed & Breakfast with 4 Bedrooms, 4.5 Bathrooms, a conference room, and 6,556 square foot garage. The property is zoned R1, Residential 1 unit per acre, is located along the S Samson Trail Scenic Route, and is more particularly described as:

Tax No. 112 in the S ½ of the NW ¼ of Section 22, T18N, R3E, B.M., Valley County, Idaho

Not a Public Hearing

Mr. Monroe presented his pre-application for a bed-and-breakfast with a large garage/workshop to accommodate clients of his outdoor adventure vehicle business. The B & B will have 4 bedrooms and lounge area in a structure of approximately 10,000 square feet.

Commissioners asked whether there would be loading/unloading of trailers on the property, riding of snowmobiles on the property, or other potentially disruptive activities to the Rural Residential neighborhood. Mr. Monroe indicated he would meet the needs of the neighborhood in his full application.

3. CONSENT AGENDA

All matters which are listed within the consent section of the agenda have been distributed to each member of the McCall Area Planning and Zoning Commission for reading and study. Items listed are considered routine by the Commission and will be enacted with one motion unless a commissioner specifically requests it to be removed from the Consent Agenda to be considered separately. Staff recommends approval of the following ACTION ITEMS:

Affidavit of Correction for DR-22-13 (ACTION ITEM)

TBD Forest Drive – Zacharia Lester for the McCall Memorial Hospital District

A modification of a condition of approval on an approved Design Review application to allow for payment in escrow for the undergrounding of utilities along the street frontage of the subject property.

Not a Public Hearing

Findings of Fact & Conclusions of Law from March 7, 2023, P&Z Commission Agenda & Review

DR-23-01 & SH-23-01 (ACTION ITEM)

2255 Edgemere Lane – Eric Anderson for Colby Smith

An application for Design Review to construct a new single family home totaling 3,821 square feet along and new landscaping along the lakefront of Payette Lake. The property is zoned R4 – Low Density Residential; is within the Shoreline Environs Zone of Payette Lake and is more particularly described as:

Lot 12 of the Luck's Point Subdivision less Tax No. 32, situate in Section 26, T19N, R3E, B.M., Valley County, Idaho.

DR-23-06, SR-23-05 & SH-23-05 (ACTION ITEM)

149 E Lake St – David Peugh of Epikos Design for James Harrison

An application to develop a Temporary Food Truck/Vendor Court to provide up to 5 spaces for Licensed Food Trucks to locate and sell their product as well as provide an outdoor dining/seating area, bear-proof trash disposal container, an electrical hookup to provide power, and some stormwater detention space. The Property is located in the CBD – Central Business District and Downtown West Urban Renewal District, is located along the Lake St/State Highway 55 Scenic Route, and is more particularly described as:

Tax No.'s 158A-3;158B-2 and 295 in Government Lot 4, situate in Section 9, T18N, R3E, B.M., City of McCall, Idaho.

DR-23-07, SH-23-02 & SR-23-04 (ACTION ITEM)

1870 Warren Wagon Rd – IMPACT AREA

Chad Gierhart & Mike Smithwick for Fox Fairways Properties LLC

An application for Design Review, Shoreline Review, and Scenic Route Review to construct a new Single-Family Residence of 7,838 square feet including an attached garage and new landscaping within the Shoreline zone. The structure is located within the R4 – Low Density Residential Zone, is located within the Warren Wagon Road Scenic Route Overlay and the Shoreline Zone of Payette Lake, and is more particularly described as:

Tax No. 7 and the N ½ of Tax No 53 in Government Lot 1, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho

DR-23-08 & SH-23-04 (ACTION ITEM)

1844 Warren Wagon Rd – IMPACT AREA

Courtney Snyder-Bork of MDPI for Brett Troyer & Mindy Marks

An application for Design Review and Shoreline Review to construct a new single-family residence of 5,030 square feet to accompany an existing accessory garage. The property is located in the R4 – Low Density Residential Zone, is located in the Shoreline Environs Zone of Payette Lake, and is more particularly described as:

Tax No. 39 in Government Lot 1, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho

DR-23-09 & SR-23-06 (ACTION ITEM)

997 Squirrel Ln – IMPACT AREA

Emily Stegner-Swartz for John & Paula McCarvel

An application for Design Review and Scenic Route Review to construct a new single-family dwelling totaling 4850 square feet as well as a detached garage with a living unit. The property is zoned R4 – Low Density Residential, is located along the Warren Wagon Rd Scenic Route and is more particularly described as:

Lot 1 of Block 14 of the Southwest Payette Cottage Sites Subdivision, situate in the NE1/4 of Section 32, T19N, R3E, B.M., Valley County, Idaho

DR-23-10 & SR-23-07 (ACTION ITEM)

2212 Warren Wagon Rd – (IMPACT AREA)

Shawn Overmeir

An Application for Design Review and Scenic Route Review to construct a new single-family dwelling with 2,984 sf of conditioned space, 2,143 sf of unconditioned space, with a total structure size of 5,127 square feet. The property is located in the R4 – Low Density Residential Zone, is located along the Warren Wagon Rd Scenic Route, and is more particularly described as:

Lot 2 of Block 12 of the Southwest Payette Cottage Sites State Subdivision, situate in the NE ¼ of Section 32, T19N, R3E, B.M., Valley County, Idaho

SUB-23-01 (ACTION ITEM)

TBD Stockton Dr – Stockton Subdivision – (IMPACT AREA)

HECO Engineering for Elva Torres

An application for a Subdivision Preliminary Plat to split a single remainder lot resulting from previous Records of Survey into two (2) new buildable lots. The existing remainder lot totals 2.28 acres. The proposed Subdivision Lots will total 1.00 acres and 1.37 acres, respectively. The property is zoned R1 – Residential, 1 Unit per Acre, and is more particularly described as:

A portion of Lot 16 of Block 1 of the West Place Subdivision, situate in the SW ¼ of the SW ¼ of Section 15, T18N, R3E, B.M., Valley County, Idaho.

Commissioner Kinzer moved to approve the consent agenda, Commissioner Rock seconded. All commissioners voted aye and the motion carried.

4. OLD BUSINESS

DR-22-27 & SH-22-05 (ACTION ITEM)

1410 Mill Rd – David Carey & Wayne Ruemmele – ‘The Glass House’

An application for Design Review and Shoreline Review to entitle the renovation of an existing building, and landscaping improvements to support a variety of commercial uses. The property is

zoned CBD – Central Business District; is located within the Shoreline Zone of Payette Lake; is within the Railroad Avenue Urban Renewal District (Sunset in 2022) and is more particularly described as:
Lots 7-10 of Block 5 of McCall’s First Addition, situate in Section 9, T18N, R3E, B.M., City of McCall , Valley County, Idaho.

PUBLIC HEARING

Mr. Carey and Mr. Ruemmele presented the application for Design and Shoreline Review of the Glass House and their updates of working with staff to determine a proportional contribution for sidewalk, curb, and gutter escrow funds and amending some site plan details relating to engineering and stormwater compliance.

Mr. Parker summarized the meetings held between applicants and staff to identify a good number for sidewalk escrow funds based on the Mill Rd Sidewalk Designs prepared by the previous Urban Renewal District. Staff and the applicants agreed on a contribution of approximately 50% of the cost estimate of the sidewalk, curb and gutter which will total approximately \$28,000.

Chairman Lyons opened and closed the Public Hearing with no comments from the public.

Commissioner Rock moved to approve DR-22-27 and SH-22-03 with amendment to Condition 3 as amended, Commissioner Kinzer seconded. All commissioners voted aye and the motion carried.

5. NEW BUSINESS

Comprehensive Plan Amendment (ACTION ITEM)

**Public Facilities, Utilities & Services; McCall Fire District Impact Fee Study & CIP
Garrett de Jong & William Gigray for McCall Rural Fire District**

An Application to consider an amendment to *The City of McCall In Motion 2018 McCall Area Comprehensive Plan* by the amendment of the *Public Facilities, Utilities, and Services, Goals + Policies* of the Comprehensive Plan by the addition of a new Goal 8 and Policy 8.1 for the purpose of enacting an ordinance and entering into the intergovernmental agreement with the McCall Fire Protection District for the collection and expending of development impact fees for the Fire District’s systems improvements as identified in the *McCall Fire Protection District Impact Fee Study and Capital Improvement Plan* Final Report – June 2022 (the “Capital Improvements Plan”) to be appended to the Comprehensive Plan as Appendix A.

PUBLIC HEARING

Bill Gigray of White Peterson Law Firm at 5700 E Franklin Rd in Nampa and Travis Smith of McCall Fire presented the application for a Comprehensive Plan Amendment to include the McCall Rural Fire District’s Capital Improvement Plan and Impact Fee Analysis in the McCall Area Comprehensive Plan. Mr. Gigray summarized the purpose and method of adopting and charging Impact Fees relating to new growth as that growth will impact local utilities and services, in this case as outlined in the Fire District Capital Improvement’s Plan. The Impact Fee Analysis then identifies the appropriate or reasonable fee for each residential unit to contribute at the time of pursuing new construction.

Chairman Lyons first inquired as to whether exemptions could be considered for Local Housing projects as an Incentive not to further burden the creation of Local Housing Units. Mr. Gigray mentioned there is a process that exists for Impact Fees that could be considered and Bill Punkoney confirmed that a special assessment or exemption would be possible in some manner.

Mr. Smith of MRFD mentioned that there is authority to waive these fees for Local Housing developments, likely those that are Deed Restricted through the existing City Local Housing program. Michelle Groenevelt, Community and Economic Development Director commented that this discussion has been held to some degree with City Council and Legal Representation. Mr. Gigray mentioned that this matter would most likely need to be addressed via the Ordinance adopted by City Council with specific Criteria to describe qualifying units and projects. Commissioners asked some clarifying questions relating to what qualifies as a Residential Unit, and the timeline for adoption of these fees.

Mr. Parker confirmed that all subjects that were covered in the staff report had been touched upon already by Mr. Gigray and McCall Fire.

Chairman Lyons opened and closed the Public Hearing with no comments from the public.

Commissioner Kinzer moved to recommend approval of the Amendment to the Comprehensive Plan to the McCall City Council and Board of County Commissioners, Commissioner Petty seconded. All Commissioner voted aye and the motion carried.

PUD-22-01, SUB-22-05, DR-22-02 (ACTION ITEM)

TBD Pinedale Street – Jeff Likes for Urban Design & Build

An application for a Planned Unit Development Preliminary Plan and Subdivision Preliminary Plat to construct 14 townhouse dwelling units on a 1.78-acre parcel. The property is zoned R8 – Medium Density Residential and is more particularly described as:

Amended Tax Parcel No. 302 in Government Lot 3, situate in the NW ¼ of the SW ¼ of Section 8, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Shellan Rodriguez of SMR Development at 520 W Idaho St, representing ALC and Urban Design & Build presented the revised application materials for the Planned Unit Development and summarized this project having been reviewed previously then remanded back to Planning and Zoning from the McCall City Council. Ms. Rodriguez reviewed the application history that has taken place since the appearance of the application before Planning and Zoning in Fall of 2022. A Deed Restricted Local Housing Unit has been added, the roof design has been changed, narratives have received further detail, and the Subdivision Plat documents have been improved among other further work.

At this time, the applicants are requesting some reconsideration of the Parks & Recreation Advisory Committee recommendation for an appraisal to determine the Parks-in-Lieu fee contribution, as well as the concept of the Parks Contribution as it related to developing in such a way that can be at an attainable cost to local workforce members looking to buy.

Mr. Parker presented the Staff Report and mentioned that the Roof Design had changed from a less-suitable Butterfly-Roof to a more compatible Shed Roof design that should deal with snow better. Mr. Parker summarized the application being remanded back to Staff and the Planning & Zoning Commission due to many application elements being less-complete or less-considered than the City Council would be comfortable with reviewing in their deepest detail. Ms. Groenevelt provided additional commentary relating to the Parks-in-Lieu fee code segment and its deeper relationship to greenfield-subdivision development. The code section is typically tricky with multi-family projects like this one, and on a case-by-case basis the code has been worked with from time to time by previous generations of decision makers. Ms. Stroud provided the Engineering Report and commented that the engineering materials

had been significantly improved upon since the previous appearance before Planning and Zoning especially relating to stormwater, hydraulics, and basic plat elements.

Chairman Lyons opened and closed the public hearing with no comments from the public.

Commissioner Petty commented that he did not feel comfortable with the contribution of \$25,000 as it was extremely low compared to what is outlined by City Code. Commissioner Kinzer agreed and mentioned he felt the conditions outlined by staff were structured reasonably. Commissioners mentioned that at least as much as the cost to develop a modestly-sized park should be considered. Commissioners Rock and Paugh agreed that without an appraisal a fair number seems out of reach.

Ms. Rodriguez provided a rebuttal to the conversation on the parks contribution challenge and mentioned that the applicants can't quite make an onsite park fit without removing a building, so the fee challenge is a necessary challenge. At this time, the applicants would like a more clear understanding of what instructions should be given to their potential appraiser to understand their contribution.

Commissioner Rock moved to approve DR-22-05, and recommend approval of PUD-22-01 and SUB-22-05 to the McCall City Council with a modification to Condition of Approval #2a to reflect a restricted use appraisal (pocket park), while maintaining #2b as it is. Commissioner Petty seconded. All commissioners voted aye and the motion carried.

DR-23-05 & SR-23-03 (ACTION ITEM)

120 E Lake St - Eric Anderson of ALC Architecture for Ryan Johnson

An application for Design Review and Scenic Route Review to construct a new single-family residence totaling 4,500 square feet including attached garage, basement, 2 floors of living area and a loft. The property is zoned R16 – High Density Residential, is located along the Lake St/State Highway 55 Scenic Route, and is more particularly described as:

Lot 12 of Block 1 of the Amended Williams-Mayfield Addition lying in Government Lot 4, situate in Section 9, T18N, R3E, B.M., City of McCall, Idaho

PUBLIC HEARING

Eric Anderson of ALC Architecture presented the application 1119 E State St in Eagle, ID for a new single-family residence. He mentioned significant elements that would require redesigning and review by staff such as removing the basement/window wells, add at least the minimum snow storage, make the pedestrian entrance code compliant and other improvements. Despite these revisions having been submitted later than the normal review period, Mr. Anderson has requested approval with all necessary revisions being conditioned out at this time.

Mr. Parker provided the staff report and mentioned the initial application materials exceed the building height limit, does not meet front door or snow storage standards and that the initial set of plans would not be prepared for approval. Received in the last business day were plans that may be closer to meeting approval, but they have not been vetted by City Staff. Ms. Stroud mentioned that she has not received a Stormwater Application at this time so does not have any comments of substance other than needing materials to review.

Chairman Lyons opened and closed the public hearing with no comments from the public.

Commissioners agreed that they do not wish to make any decisions without having time for Staff and the commission to review materials.

Commissioner Kinzer moved to continue DR-23-05 and SR-23-03 to the Planning & Zoning Meeting on July 11, 2023. Commissioner Rock seconded. All commissioners voted aye and the motion carried.

CUP-23-03 (ACTION ITEM)

TBD Oakwood Dr – IMPACT AREA

Martin Potucek

An application for a Conditional Use Permit to construct and operate an 834 square foot agricultural shed structure as the primary structure and use on a Residentially zoned property. Shed will provide propagation space and storage for landscaping materials and will not require utilities. The Property is Zoned R4 – Low Density Residential and is more particularly described as:

Lot 13 of Group D of Payette Lakes Club Subdivision, situate in the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Commissioner Kinzer moved to continue to CUP-23-03 to July 11, 2023 P&Z. Commissioner Rock seconded. All commissioners voted aye and the motion carried.

PUDF-23-02 & FP-23-02 (ACTION ITEM)

176 Coy Rd – (IMPACT AREA)

Coy Estates Subdivision – Denise Carter & Corby Garrett

An application for a Planned Unit Development Final Plan and Subdivision Final Plat to create 8 single-family lots out of an existing parcel of 9.22 acres. The property is zoned R1 – Residential 1 Acre, and is more particularly described as:

Tax Parcel No. 22, situate in the E ½ of the SE ¼ of Section 18, T18N, R3E, B.M., Valley County, Idaho.

Not A Public Hearing

Corby Garrett presented the application for Coy Estates Planned Unit Development Final Plan and Final Plat. The team has worked the last couple of years to complete the conditions from the Preliminary Application phase and has entered into a road agreement with the County, installed a Water Tank per the fire district, and completed the necessary governing and platting documents identified in previous conditions of approval.

Mr. Parker presented the staff report for the small subdivision southwest of city limits. The applicants have uniquely considered the context of McCall by prohibiting short term rentals as an amenity within their CC&Rs and creating shared pathways between the properties. Ms. Stroud summarized her comments from the Engineering Review being minor amendments to Plat Notes and having no concerns of substance. Commissioners had some clarifying questions on the Fire Tank and groundwater monitoring, and were happy to hear that the Fire Tank mound would be landscaped and they should hear final approval for septic systems in the near future.

Commissioner Rock moved to recommend approval of PUDF-23-02 and FP-23-02 to the Valley County Board of Commissioners. Commissioner Kinzer seconded. All commissioners voted aye and the motion carried.

MPA-23-01 (ACTION ITEM)

131-141 E Stibnite St

Brian Kirkwood for Rustic Village II HOA

A petition for a Minor Subdivision Plat Amendment to vacate undeveloped Lots 9 and 16 and dedicate as part of the Common Area Parcel. The property is zoned R8 – Medium Density Residential and is more particularly described as:

The Amended Rustic Village II Condominium Subdivision, situate in the N ½ of the NW ¼ of the NW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

Not a Public Hearing

Brian Kirkwood of 1075 Aspen Ridge Ln presented the application by the Rustic Village Condo Owners Association to vacate two never-built units from the Rustic Village Plat and dedicate their area to open space/common area to memorialize the reality that exists on the property in the present day. The Plat also now reflects some of the accessory buildings and structures that have been added to the property over the course of decades.

Mr. Parker presented the staff report and confirmed that Mr. Kirkwood’s summary was accurate.

Commissioner Kinzer moved to recommend MPA-23-01 for approval to the McCall City Council, Commissioner Rock seconded. All commissioners voted aye and the motion carried.

DR-23-11 & SR-23-10 (ACTION ITEM)

1440 Warren Wagon Rd – IMPACT AREA

Jon Walker for Quaker Hill

A Design Review and Scenic Route Review application to create an addition and to remodel a portion of an existing cafeteria resulting in a 9,752 square foot structure adjacent to Warren Wagon Road, a designated scenic route. The property is zoned R4 – Low Density Residential and is more particularly described as:

Tax Lot Number 56 situate in the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Jon Walker, Camp Director at Quaker Hill Camp of 1440 Warren Wagon Rd presented the renewed application for Design Review and Scenic Route Review for the Quaker Hill Camp to renovate some structures and add-on to the property.

Mr. Parker presented the Staff Report mentioning previous approval of the same plan, and no code changes of consequence to the application since its approval and expiration. Ms. Stroud mentioned the Stormwater Application was reviewed and she had minor comments to understand the Stormwater system most completely.

Chairman Lyons opened and closed the public hearing with no comment from the public.

Commissioner Rock moved to recommend approval of DR-23-11 and SR-23-10 to McCall City Council. Chairman Lyons politely moved to amend the motion to indicate approval rather than recommendation, Commissioner Kinzer seconded. All commissioners voted aye and the motion carried.

DR-23-12 & SR-23-09 (ACTION ITEM)

2058 Eastside Way– IMPACT AREA

Mike Robnett for Scott Adcock

An Application for Design Review and Scenic Route Review to construct a 2-story, 4,062 square foot addition to an existing garage structure to add 1,629 square feet of living space and additional 2,433 square foot garage. The final structure will total 6,657 square feet. The property is zoned RR – Rural Residential, is located along the Eastside Drive Scenic Route, and is more particularly described as:

Lot 2 of Block 1 of the Spruce Grove Subdivision, situate in a portion of the SW ¼ of the NE ¼ of Section 2, T18N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

Mike Robnett of 1002 Violet Way presented the application for a large addition to the property. He mentioned that the comments received from the neighborhood related to a discrepancy with setbacks compared to the subdivision setback, but that the City/Impact Area setback determination had been made clear at the time of the initial structures' development with a 10 foot setback based on the double frontage.

Mr. Parker provided the Staff Report and mentioned it generally meets the Impact Area code, but the snow storage area will need to be minorly increased. Ms. Stroud mentioned that she would still need a Stormwater Application, but the lot coverage is low enough that the report needs should be minimal.

Chairman Lyons opened and closed the public hearing with no comments from the public.

Commissioner Petty moved to approve DR-23-12 and SR-23-09. Commissioner Kinzer seconded. All commissioners voted aye and the motion carried.

DR-23-13 & SH-23-04 (ACTION ITEM)

1860 Warren Wagon Rd – IMPACT AREA

Heather Susemihl of MDPI for Jared Wray

An Application for Design Review and Shoreline Environs Review to construct a new single-family home totaling 8,221 square feet, including three levels of living space, and attached 976 square foot garage, and lakefront covered patios and deck. The property is zoned R4 – Low Density Residential, is located The Shoreline Zone of Payette Lake, and is more particularly described as:

Tax No. 34 and the S ½ of Tax No. 53 in Government Lot 1, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho.

PUBLIC HEARING

Heather Susemihl of McCall Design and Planning presented the application for Design and Shoreline Review to construct a new single-family dwelling on the shoreline of Payette Lake. The existing home encroaches into the 50-foot shoreline setback and will be demolished, the new home will not encroach into the 50-foot shoreline setback. The design is a stepped-back set of two-story building sections to meet the building height limits.

Mr. Parker presented the staff report and commented that the design is an example of maxing out the current development standards for the McCall Area, but does meet code in most ways, needing only some additional snow storage area. Ms. Stroud mentioned that for the most part the Stormwater and engineering materials have thoroughly addressed the code, she also mentioned that all sites undergoing

work on the Shoreline must have a Responsible Party identified with a Stormwater Certification to ensure the lake will be protected.

Chairman Lyons opened and closed the public hearing.

Commissioner Rock moved to approve DR-23-13 and SH-23-04. Commissioner Kinzer seconded. All commissioners voted aye and the motion carried.

DR-23-14 & SH-23-05 (ACTION ITEM)

2107 Water Lily Ln – IMPACT AREA

Jevon Truex for Bart Longson

An Application for Design Review and Shoreline Environs Review to construct a new two-story single-family residence totaling structure totaling 7,338 square feet including an attached garage. The property is zoned R4 – Low Density Residential, is located along the Shoreline Zone of Payette Lake, and is more particularly described as:

Lot 2 of Block 1 of the Cove Replat of the State Subdivision, situate in section 34, T19N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

Jevon Truex of 8403 Spring Creek Way in Meridian, Idaho presented the application for a new single family dwelling on the shoreline of Payette Lake near Pilgrim Cove. He showed a video rendering of the project and indicated that the 3 existing structured would be removed or demolished. The existing patio will remain in the 50-foot shoreline setback but will not be expanded upon.

Mr. Parker presented the staff report and referred to Code section 3.11.[Shoreline Area] discussing structures within the 50 foot shoreline setback, and indicated the existing patio will not be removed and will not be modified in compliance with this code section. Ms. Stroud reviewed the engineering report and indicated the necessary materials had been received and appeared to adhere to the shoreline and stormwater guidelines.

Chairman Lyons opened and closed the public hearing with no public comments.

Commissioner Kinzer moved to approve DR-23-14 and SH-23-05. Commissioner Paugh seconded. All commissioners voted aye and the motion carried.

DR-23-15 & SH-23-06 (ACTION ITEM)

910 Wagon Wheel Rd– IMPACT AREA

Kevin Schalk of Glancey Rockwell for Brent Lloyd

An Application for Design Review and Shoreline Environs Review to construct a new single-family residence totaling 5,851 square feet of structure size including attached garage and covered patio areas. The property is zoned R4 – Low Density Residential, is located along the Shoreline Zone of Payette Lake, and is more particularly described as:

Lot 141 abd the W 1/3 of Lot 142 of the Amended Payette Lake Cottage Sites, situate in Section 28, T19N, R3E, B.M., Valley County, Idaho

PUBLIC HEARING

James Glancey of Glancey Rockwell Architects of 1250 W River Street in Boise, ID presented the application for a single family residence on the Shoreline of Payette Lake on Wagon Wheel Bay. There

are existing structures (boat house/equipment shed) that encroach into the beach area below the Ordinary High Water Mark or Common Area that will be unchanged.

Mr. Parker presented the staff report and confirmed that there should be enough space for snow storage as it is a large lot. Ms. Stroud mentioned that she still needs to see a set of Stormwater Calculations to justify the submitted report but that the specified mitigations seem possible.

Commissioner Kinzer moved to approve DR-23-15 and SH-23-06, Commissioner Paugh seconded. All commissioners voted aye and the motion carried.

VAC-23-01 (ACTION ITEM)

TBD Simmons St/Simmons St ½ ROW

Steve Callan

A petition for vacation of the public right-of-way of Simmons Street along the frontages of Lots 1-10, Block 2, Riverside Subdivision to allow for the construction of a private street built to City standards. The property is zoned I – Industrial and is more particularly described as:

A Westerly Portion of the Right-Of-Way of the Riverside Subdivision, situate in the W ½ of the NW ¼ of the SW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

PUBLIC HEARING

Richard Wilmot of Chrysalis Architecture and Steve Callan presented their application for a Vacation of Right-Of-Way to obtain the private ownership of the current Simmons St ½ half street to be able to develop the private access to the 5-unit townhome development the applicants have previously presented and had recommended for approval to the McCall City Council. This Vacation process is a condition of approval for the Townhouse Subdivision & Conditional Use Permit. Similar processes have been carried out further North to vacate a different portion of Simmons to allow the adjacent development to meet necessary code.

Mr. Parker presented the staff report and clarified that the Vacation extends North all the way to Scott Street. Letters of Participation/Interest have been submitted by the impacted properties. He mentioned that Vacations are very unique as discretionary processes, where the major question is whether the application is in the public interest. Ms. Stroud presented the engineer report and described the process of determining the need for a private road to access this property.

Commissioner Kinzer moved to recommend approval of VAC-23-01 to McCall City Council. Commissioner Rock seconded. All commissioners voted aye and the motion carried.

6. OTHER

• **Haze Noble Design Guidelines Review**

Haze Noble presented an analysis of the McCall Design Guidelines and reviewed the History, Purpose, Challenges, Inaccuracies, and Opportunities presented by the McCall Design Guidelines, and how to address them moving into the future.

Limitations: 17 Year Old Document

Needs to Address:

- Solar Energy (#21) – Current guideline indicated Solar Panels should be hidden while also mentioning they are ineffective, this isn't very logical.
- Vegetation – Siting Buildings inside of groves of trees competes with tree preservation and wildfire mitigation.

- Natural Disasters/Hazard Mitigation: Little logical consideration of local hazards such as wildfire and rapid snowmelt or natural challenges to safe development in McCall should be addressed.

Other:

- Vertical Parking as a future concept to allow for better beautification of frequently visited areas, and preserve natural areas over further development of surface parking.
- Regular Updates: The Design Guidelines should never get 17 years old because it's a better practice.
- **Signs approved administratively: None**
- **Upcoming Meeting Agenda – July 11, 2023 – Tentative**
 - DR-23-05 & SR-23-0_ – 120 E Lake St – Single-Family Dwelling
 - DR-23-13 – TBD Crescent Rim Dr – Single-family Dwelling
 - CUP-23-03 – TBD Oakwood Rd – Martin Potucek
 - CUP-23-05 & DR-23-17 – 400 Krahn Ln – Mixed Use/Self Storage

7. ADJOURNMENT

Commissioner Rock moved to adjourn the meeting, Commissioner Kinzer seconded. All commissioners voted aye and the meeting adjourned.

Signed:

Attest:

Robert Lyons, Chairman
McCall Area Planning and Zoning Commission

Brian Parker
City Planner

**PUBLIC HEARING
SIGN IN SHEET
McCall Area Planning & Zoning Commission
June 6, 2023**

NAME	Primary ADDRESS	Item Commenting On	In favor, Opposed, or Neutral
Mike Smithwick	72 Finn	Dr- 23-07 SH-23-02	Favor
Cody Monroe	313 McBride	13rd & Brackst	Favor
Wayne Rvenmele <u>ONLINE:</u>	1008 BITTERROOT DR. + DAVID CAREY 1410 Mill Rd/1101 N. 3RD	22-27	(APPLICANT)
CHAD GIERHART - PROJECT ARCHITECT			
DON PERKINS			
SHELLAN RODRIGUEZ - PUD-22-01 REPRESENTATIVE			
-CHAD JONES			
-NICK (LOUIE)			
ZAC MATHEWS			
ZACHARIA LESTER			
RICHARD WILMOT - VAC-23-01 ARCHITECT			
JAMES GLANCEY - DR-23-15 ARCHITECT/REP			
ERIC ANDERSON - DR-23-05 ARCHITECT			
HEATHER SUSEMIHL - DR-23-13 ARCHITECT			
WILLIAM GIGRAY - FIRE DISTRICT IMPACT FEES REPRESENTATIVE			
-GARRETT DE JONG - FIRE CHIEF			



PUD-22-01, SUB-22-05, DR-22-05
Boydston Place

Planning and Zoning, June 6, 2023

Who We Are...



Founded in 2019, Urban Design+Build is a diversified, full-service development and construction contracting firm with vast handling a broad array of projects, ranging from residential and commercial construction to land development and entitlements.



SMR Development is a small consulting firm with a focus on achievable housing to create solutions for community-based development. Owner, Shellan Rodriguez, has nearly twenty years of experience in the private, non-profit, for-profit and government sectors working in amenity-rich resort communities throughout Idaho, California, and Montana.



Grant St. Development, Boise, Idaho

Developed and built by Urban
Design+Build. This infill
development is located one
block from BSU and sold to
Boiseans..



Denver St. Development Boise, Idaho

Developed and built by
Urban Design+Build. This
infill development is
located 4 blocks from BSU
and marketed to
employees with young
families.



Eagle & Idaho Condo's Eagle, Idaho

Designed by Urban Design+Build. Located in the heart of downtown Eagle, ID this project is currently in the entitlement process and expected to start construction in the coming year.



The Aspens at South Lake Tahoe, California

48 units of multifamily housing in the city of South Lake Tahoe, using a variety of local, state and federal funding sources.

The Martha, Boise, Idaho
48 units of deed-restricted workforce housing in partnership with the urban renewal agency & planning agency using housing bonus ordinance.



Boydston Place- PROJECT SITE



- 1.77-Acres, vacant
- For Sale product
- 14 Townhomes, 3 Beds/ 2 bath
- 2 car garages
- Maximizing available Sewer EDUs
- No Density Bonus Requested
- Locals Housing Deed Restriction & Incentive Program





Local Housing Marketing Strategy

- 1 deed-restricted Local Housing Unit
- Employee-targeted housing
 - Owners committed to coordinated marketing effort with McCall employers
 - Received interest after entitlement or completion
- Designed for long term Mountain Living (garage, storage, guest parking)

Where We've Been

Sept 7,
2021

- Pre-application Meeting: 29-units proposed, sewer hookups not available, coordinated new layout with P&Z Staff based on sewer district allocated hookups available and comments from pre-app

June 7,
2022

- Neighborhood meeting

Sept 26,
2022

- Planning and Zoning/Design Review: Unanimous Approval

August
2022

- Parks & Recreation Advisory Committee

Where We've Been

**Nov 3,
2022**

- City Council (1st meeting)

**Dec 15,
2022**

- City Council (2nd meeting)

**Jan 26,
2023**

- City Council (3rd meeting): "Council member Thrower moved to remand the application to staff to compile the list of additional information that the applicant should provide to the City Council at a public hearing to be scheduled"

Sept 26,
2022

- Planning and Zoning + Design Review: Unanimous Approval

Staff Determinations

REQUESTED ITEMS BELOW - NOW COMPLETE (PER STAFF REPORT)

1. Add to Narrative regarding conformance with:
 - **Comprehensive Plan COMPLETE**
 - **Local Housing Action Plan COMPLETE**
2. Confirm Water & Sewer District Service **COMPLETE**
3. Update plans with **Planning & Zoning Commission's Conditions** re: engineering, trash service, amenities, snow storage, elevations **COMPLETE**
4. Show **9' pathway along Pinedale Street** on plan **COMPLETE**
5. Updated plans with **revised fire hydrant** location **COMPLETE**
6. Clarify draft **CC&Rs COMPLETE**
7. Bedroom counts **COMPLETE**
8. Update **project timeline COMPLETE**
9. **Revise butterfly roof design** due to McCall's climate **REVISED & COMPLETE**

Staff Determination Continued



ITEMS NEEDING DISCUSSION...

COA #2 (page 2 of 22/ pdf
pgeDetermine Parks in lieu fee.

*\$25,000 in lieu fee based on similar
projects*

OR

*Confirm the valuation is based on a
restricted highest and best use as
pocket park space.*



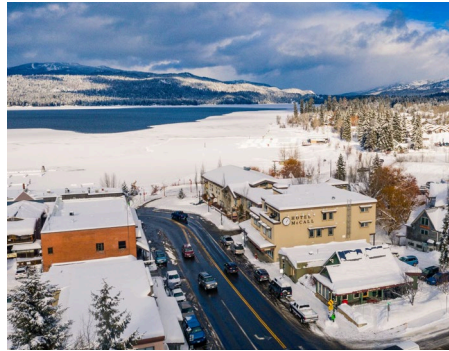
Parks & Recreation In-Lieu

- PRAC - May 17, 2023

- **In Lieu Contributions (MCC Code 9.3.107)**

*After receiving a recommendation by the parks board, the city council may, at their discretion, approve and accept voluntary cash contributions ~~in lieu of~~ **in lieu of park land dedication and park improvements**... The fee structure for cash contributions for acquisition of park land shall be the appraised value of the required land area at the time of the application.*

- Language is confusing for appraisers.
- A commercial appraiser is the only appraiser option
 - High Cost - \$4,500+ AND 4+ weeks
 - Additional direction needed.



Parks & Recreation In-Lieu

- Confirmation value based upon a restricted highest and best use as a pocket park site
- OR in lieu fee \$25,000 in lieu fee (based on comps listed on page 10 of project narrative)

Land Comparables

	size SF	cost	cost/sf	Contribution (0.38 acres)
1548 Brownwood Road McCall, ID	8712	\$ 52,000	\$ 5.97	\$ 98,800
L113 Shooting Star Lane McCall, ID	16553	\$ 115,000	\$ 6.95	\$ 115,000
1436 Mountain Meadow Drive McCall, ID	17424	\$ 259,000	\$ 14.86	\$ 246,050
1008 Violet Way McCall, ID	12197	\$ 395,000	\$ 32.39	\$ 536,071
AVERAGE			\$ 15.04	\$ 248,980



Parks & Recreation In-Lieu

AVERAGE Land = \$248,980



Landscaping/Furnishings				
Quantity	Unit	Cost	Total	
Trees	1 ea	\$ 5,250.00	\$ 5,250.00	
Bench	1 ea	\$ 700.00	\$ 700.00	
Picnic Tables	1 Ea	\$ 1,200.00	\$ 1,200.00	
Trash	1 ea	\$ 1,000.00	\$ 1,000.00	
Grading	16,552 sf	\$ 1.50	\$ 24,829.20	
Overhead & Labor @ 20% (items 2,3,4,5)			\$ 5,545.84	
			\$ 38,525.04	
Contingency @7% (all items)			\$ 2,696.75	
TOTAL			\$ 41,221.79	

Land (\$250,000) + Improvements (\$40,000) = +/- \$290,000 (nearly \$21,000/ door

PROS Plan states explicitly this needs to be replaced.



Parks & Recreation In-Lieu

- Confirmation value based upon a restricted highest and best use as a pocket park site
- OR in lieu fee \$25,000 in lieu fee (based on comps listed on page 10 of project narrative)

How has this been handled previously....

File Number	Name	Required Acreage	Contribution	per acre
PUD-21-01	Black Bear Condos	0.7202	IMPROVEMENTS, NOT PAYMENT	
SUB-21-02	Big Horn	0.3324	\$25,000	\$75,211
PUD-20-01	Running Horse	0.3601	IMPROVEMENTS, NOT PAYMENT	
PUD-19-03	Broken Ridge	0.4432	Construction of parking lot on City owned undeveloped park nearby, or \$15,000	\$33,845

	Per Acre	0.38 Boydston Park Requirement
average fee	\$54,528	\$20,721
Low	\$33,845	\$12,861
High	\$75,211	\$28,580

Today's Request

Motions Regarding DR-22-05, PUD-22-01 & SUB-22-05:

- Approve DR-22-05 [PUD-22-01 & SUB-22-05] with the staff recommended conditions of approval with the following modifications to Condition 2:
 - An appraisal based upon a restricted highest and best use as a pocket park
 - An agreed-upon \$30,000 in-lieu fee

(Per Page 3 of Staff Report, request in **red**):

2.	Scheduling a hearing with the McCall City Council
----	---

The applicant shall provide cost estimates for:

- 0.38 acres of land, as appraised pursuant to McCall City Code Section 9.3.107.

The appraisal shall be the appraised value based upon a restricted highest and best use as a pocket park site.



Next Steps



City Council Meeting

For Applications PUD-22-01, SUB-22-05

Construction Design Drawings
Permits
Construction Spring 2024

Thanks!

Questions?

shellan@smrdevelopment.com
(406) 531-9973





BATT & BOARD SIDING
REALIST BEIGE
SW 6048

HORIZONTAL SIDING
CITYSCAPE
SW 7067

CULTURED STONE VENEER
COUNTRY LEDGESTONE
HUDSON BAY

FACIA CAP
TRICORN BLACK
SW 6258

DECORATIVE METAL RAILING
TRICORN BLACK
SW 6258



FACIA CAP
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SW 7067

DECORATIVE METAL RAILING
TRICORN BLACK
SW 6258

CULTURED STONE VENEER
COUNTRY LEDGESTONE
HUDSON BAY









EXTERIOR ELEVATION - FRONT

SCALE: 1/4" = 1'-0"

1



EXTERIOR ELEVATION - REAR

SCALE: 1/4" = 1'-0"

2



EXTERIOR ELEVATION - SIDE

SCALE: 1/4" = 1'-0"

3



EXTERIOR ELEVATION - SIDE

SCALE: 1/4" = 1'-0"

4



EXTERIOR ELEVATION - FRONT

SCALE: 3/16" = 1'-0"

1



EXTERIOR ELEVATION - REAR

SCALE: 3/16" = 1'-0"

2



EXTERIOR ELEVATION - SIDE

SCALE: 3/16" = 1'-0"

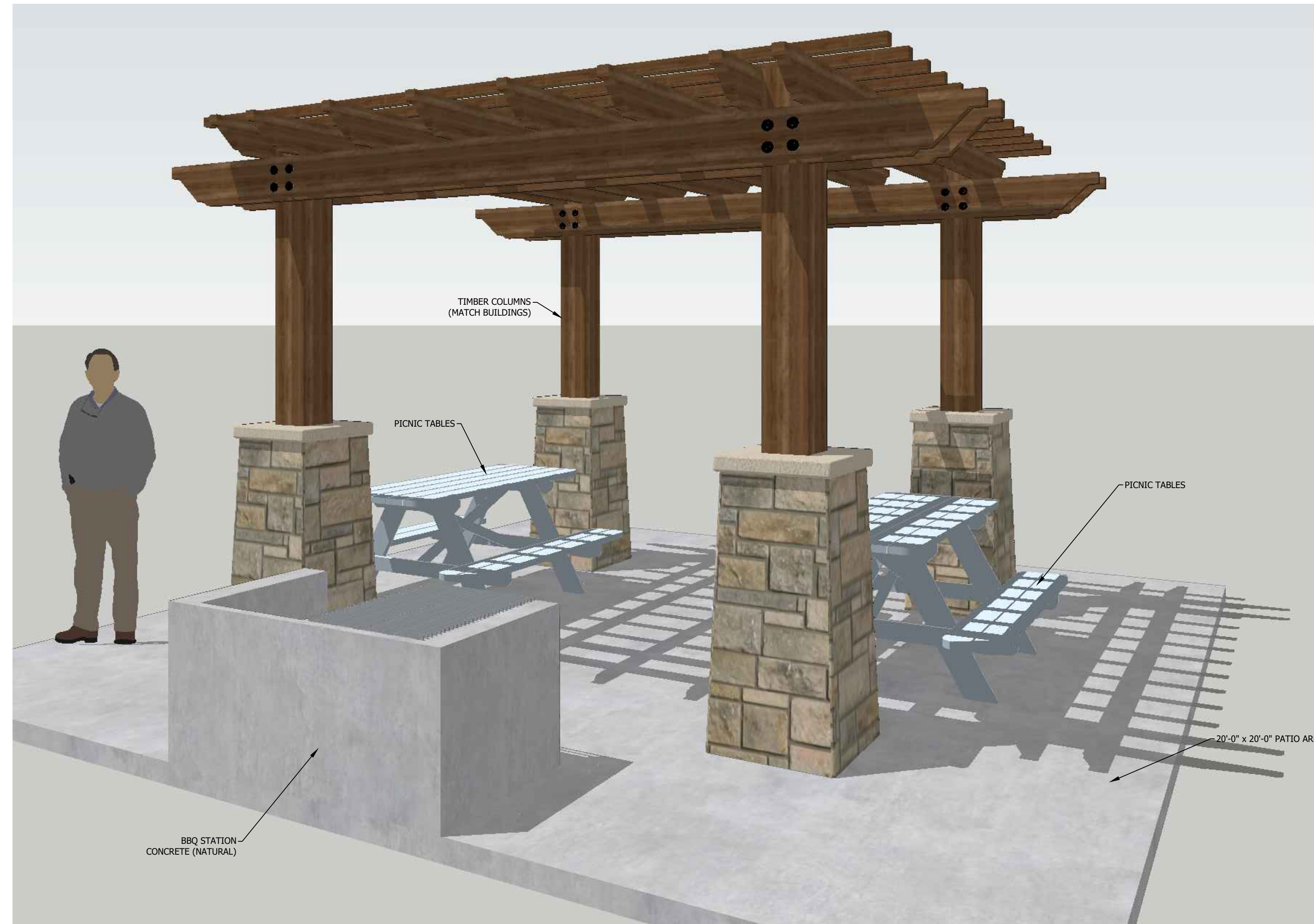
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EXTERIOR ELEVATION - SIDE

SCALE: 3/16" = 1'-0"

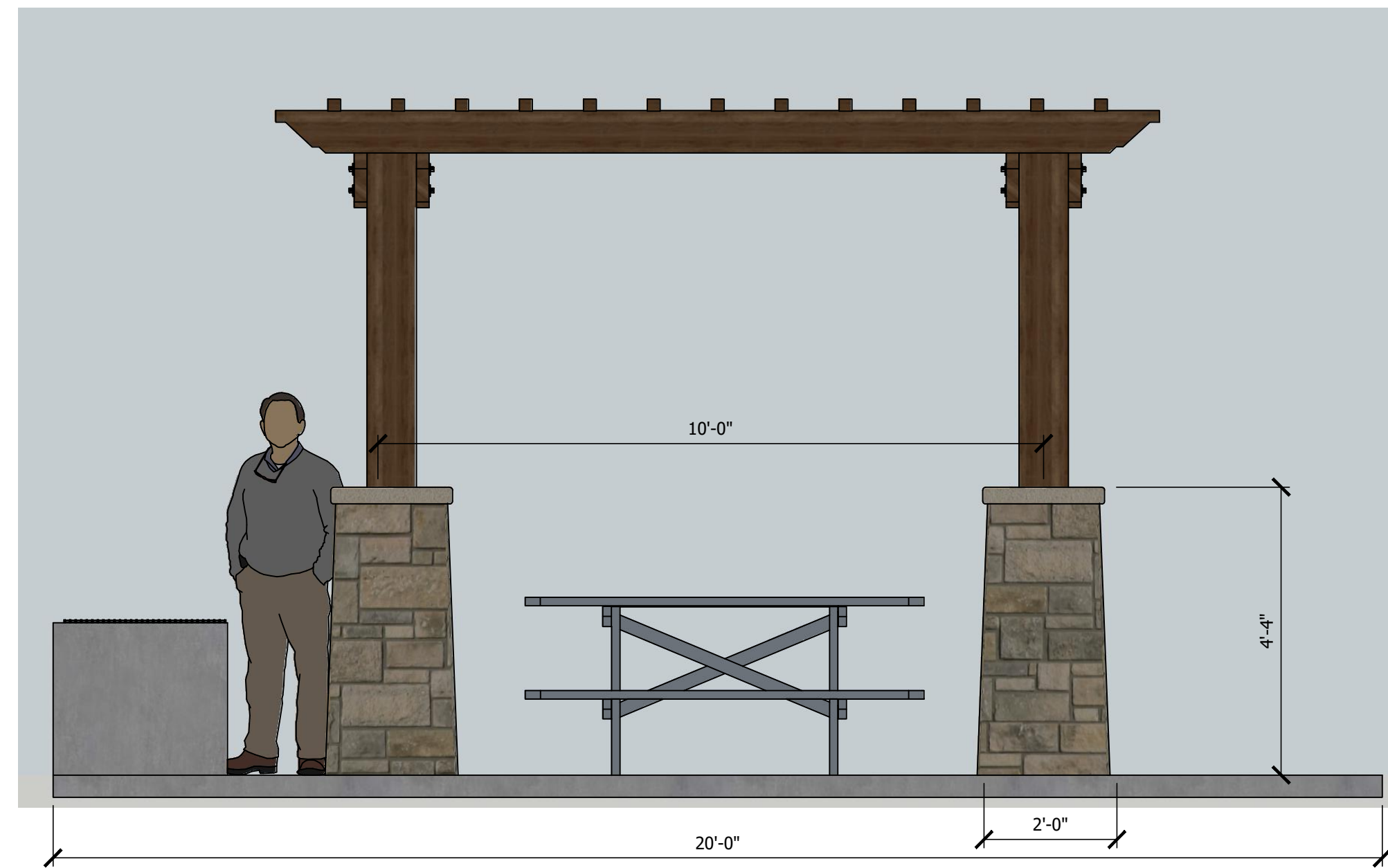
4



BBQ / COMMON AREA CONCEPT

SCALE: N.T.S.

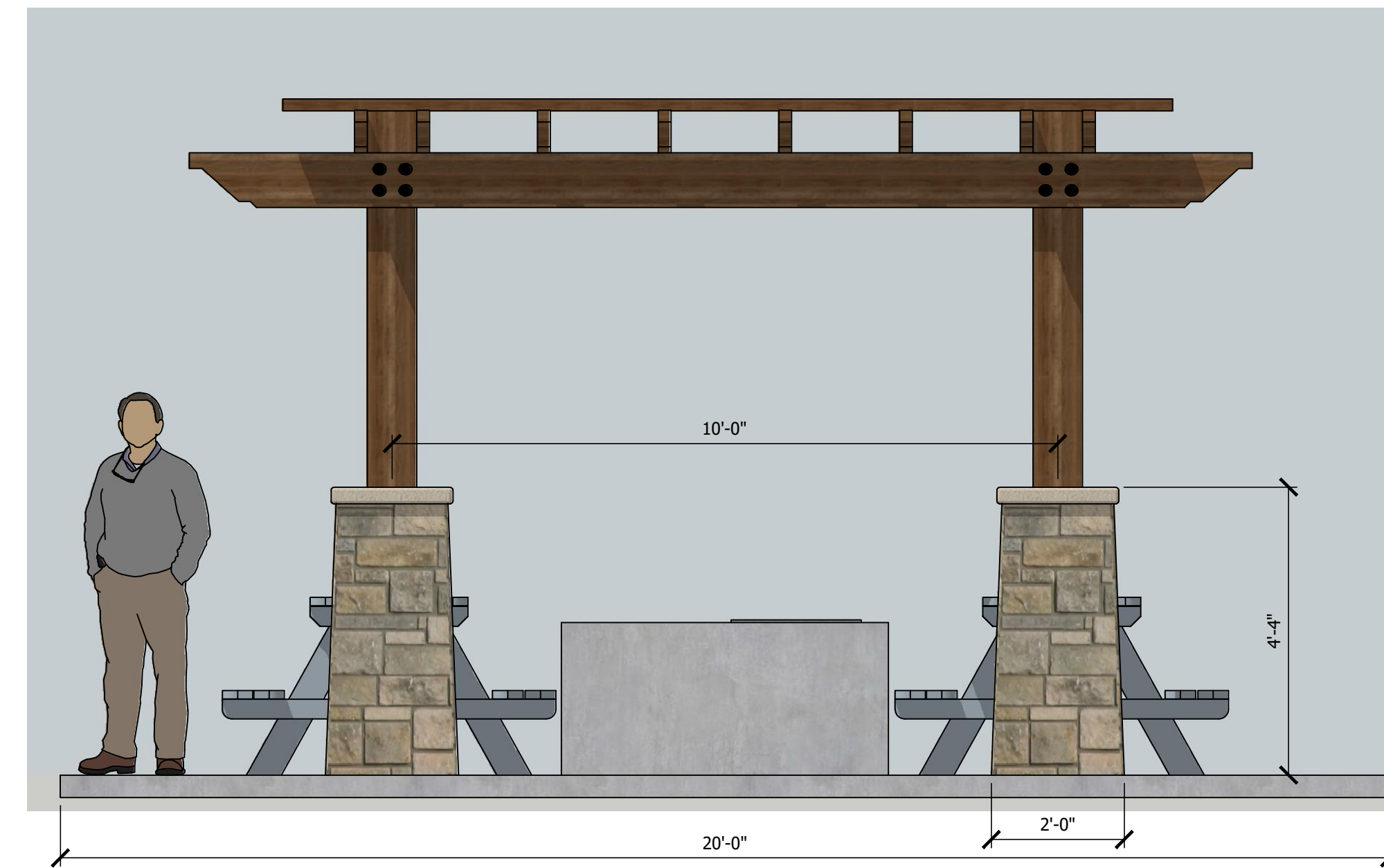
1



BBQ / COMMON AREA - FRONT

SCALE: N.T.S.

2



BBQ / COMMON AREA - FRONT

SCALE: N.T.S.

3

TOP PURLINS
11'-0"

TOP BEAM
10'-0"

FIN. FLOOR
0'-0"

BBQ / COMMON AREA CONCEPT
EXTERIOR ELEVATIONS
BOYDSTUN AND PINEDALE

Payette Lakes Cottage Sites Owners Association, Inc. (PLCSOA)
c/o Idaho HOA Management
PO Box 101
McCall, ID 83638

June 6, 2023

Brian Parker, City Planner
City of McCall
216 E Park St
McCall, ID 83638

RE: Public Hearing DR-23-15 & SH-23-06 for 910 Wagon Wheel Rd, McCall

Dear Mr. Parker:

I am writing to comment on the proposed action item to approve a Design Review and Shoreline Environs Review for Mr. Brent Lloyd to construct a single-family residence on his property adjacent to Payette Lake.

Mr. Lloyd's property is within the neighborhood boundaries of the Payette Lakes Cottage Sites Owners Association (PLCSOA), Inc. Our homeowners association (HOA) was established in 2013 by the State of Idaho when the area private roads and community lake access points were transferred from state to the PLCSOA. I am the current President of the PLCSOA Board of Directors, and our HOA owns the property immediately adjacent to Mr. Lloyd's property. We own the private road called Wagon Wheel Road and we own a 50' wide lake access point called Wagon Wheel Point which allows our members to access the lake on our parcel of land.

The PLCSOA does not object to the Design Review of Mr. Lloyd's proposed home at 910 Wagon Wheel Rd. We do, however, want to point out and make it clear to the City of McCall that Mr. Lloyd's existing boat house and dock lie much closer to the property line that abuts our property and does NOT meet normal setbacks of property boundaries. If you review the site drawings and note the 20' front setback from Wagon Wheel Road, both the boat house and the dock lie within that setback. Presumably, the boat house was rebuilt as a grandfathered building at the lake shore several years ago but without the consent of the PLCSOA.

We have tentative plans to improve our lake access points throughout our neighborhood, including the undeveloped parcel that is adjacent to Mr. Lloyd's parcel. By developing this lake access point, we will improve our property and the available access points to the lake for our neighborhood residents. This would be a great improvement to our neighborhood and take the strain off several other access points that are currently used. This site is on a steep slope with a limited and somewhat dangerous trail to reach the lake. We are considering installing steps and a deck nearer to the lake to provide our residents with easier access. Further, we may wish to install a community dock at that site in the future. The Idaho Department of Lands requires single family docks to be no closer than ten (10) feet from the littoral line and 25' when a community dock is installed with proper adjacent property owner consent.

We ask that Mr. Lloyd support our future improvements at this site adjacent to his property and that he consents to the PLCSOA to build a community dock there, if feasible. In mentioning these items, we want to be good neighbors and we hope to not require Mr. Lloyd's boat house and dock to be moved further to the North on his lot to comply with required lot setbacks and littoral line issues on Payette Lake.

In conclusion, we support Mr. Lloyd's Design Review but withhold support on the Shoreline Environs Review at present due to his boathouse & dock being too close to both our property line and the required setbacks for littoral lines into Payette Lake.

Sincerely,

Kevin Hanigan

Kevin Hanigan on behalf of the PLCSOA, Inc.
President

City of McCall
216 East Park Street
McCall, ID 83638
Phone (208) 634-7142
Fax (208) 634-3038



PRE-APPLICATION MEETING FORM

The Applicant will present to the Administrator and Commission, in a scheduled meeting, but a non-public hearing, a *preliminary development plan* for review and discussion. All materials to be reviewed and discussed shall be provided, or be available, to Commission members at a regular scheduled meeting of the Commission. The pre-application meeting (no fee involved) is required for all land use applications except Record of Survey, Design Review and Scenic Route applications. Please contact the Community Development Department at (208) 634-7052 to schedule a pre-application meeting.

Please check all that apply:

- Annexation or Rezone (ZON)
- Conditional Use Permit (CUP)
- Planned Unit Development (PUD) General Plan
- Planned Unit Development (PUD) Final Plan (no fee)
- Subdivision (SUB) Preliminary Plat
- Subdivision (SUB) Final Plat (no fee)
- Street Vacation (VAC)
- Variance (VAR)

Date Received: June 15, 2023

Applicant Information

Applicant: Mile High Marina LLC Phone/Email: [REDACTED]

Applicant's Mailing Address: [REDACTED]

Agent/Representative: Steve Millemann Phone/Fax/Email: sjm@mpmplaw.com

Agent/Representative's Mailing Address: PO Box 1066; McCall, ID 83638; 208-634-7641

Address of Subject Property: 1300 East Lake Street, McCall

Legal Description of Property: TS 18N, R 3E, S.9, Boise meridian

Zoning District of Property: CBD

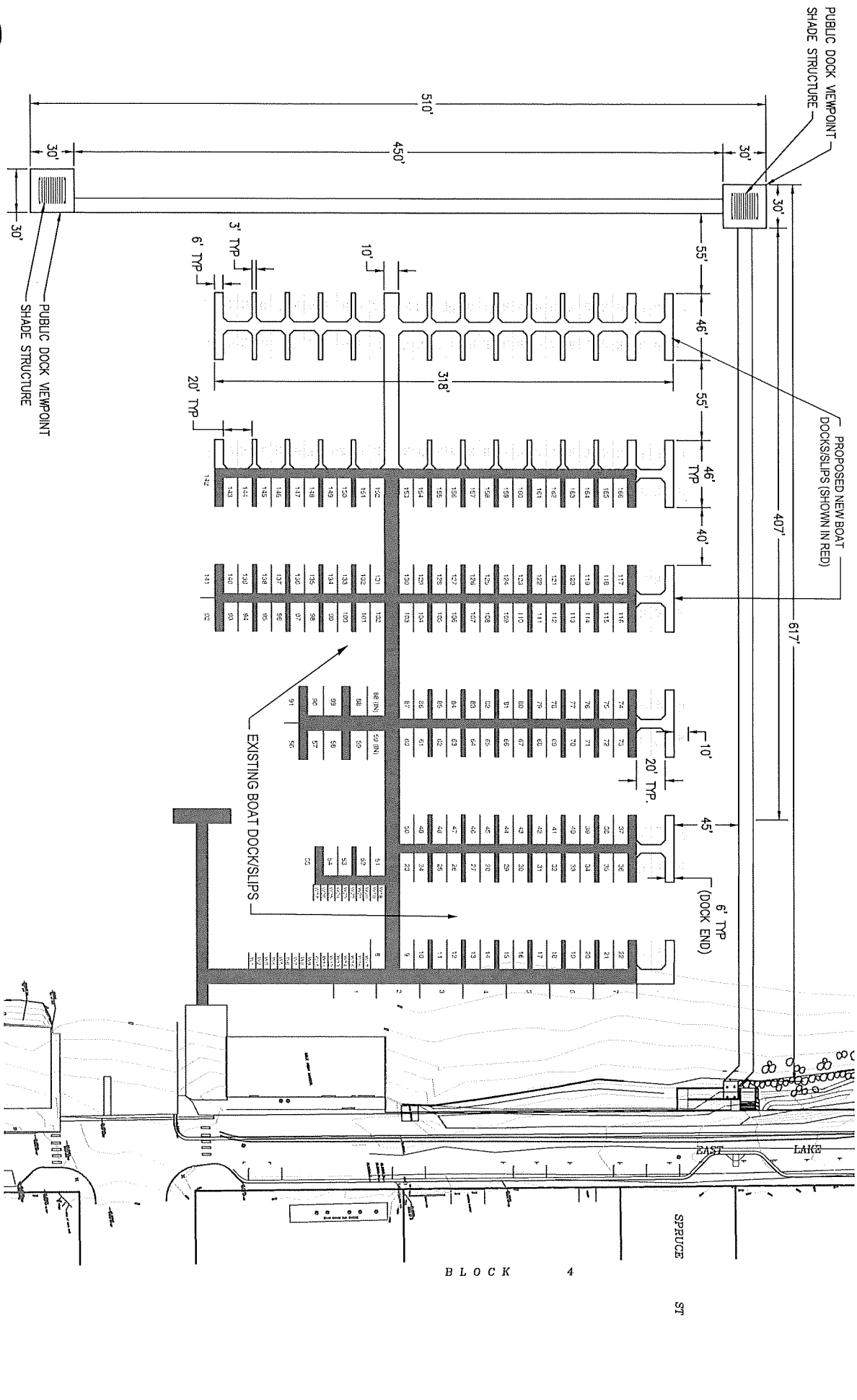
Explain the general nature of what is proposed:

REPLACEMENT OF CURRENT LOG BREAKWATER WITH WAVE ATTENUATOR BREAKWATER. DECKING OF NEW BREAKWATER WILL BE PUBLICALLY ACCESSIBLE. ADDITIONAL BOAT SLIPS WILL BE CONSTRUCTED WITHIN NEW BREAKWATER. SEE ATTACHED SITE PLAN AND LETTER FROM KURT WOLF. A PERMIT FROM THE STATE OF IDAHO, DEPARTMENT OF LANDS HAS ALREADY BEEN ISSUED FOR THIS PROJECT (ENCROACHMENT PERMIT NO. L-65-S-0372H), WHICH IS ATTACHED.

*Please submit four (4) hard copies of the preliminary development plan with this form, not greater than 11" by 17" in size. Please also include a digital copy of the preliminary development plan.



MILEHIGH MARINA DOCK IMPROVEMENTS SCHEMATIC
 PRELIMINARY DRAWING - NOT FOR CONSTRUCTION



Scale 1" = 60'-0"
 0 60 120

This space is reserved for recording purposes only



ENCROACHMENT PERMIT NO. L65S0372H

Permission is hereby granted to Mile High Marina of PO Box 3090, McCall, ID, 83638, United States (USA) to install and maintain the following encroachment(s) subject to the terms and conditions of this Permit and the approved application, plans and drawings incorporated herein:

Encroachment	Description	Effective Date	Construction to be completed by	
Encroachment: Breakwater	Decked for Public Access	1127 Feet	05/09/2023	05/08/2026
Encroachment: Commercial Marina	One (1) 18' x 115' and one (1) 12' x 65' fixed Piers for nonmotorized watercraft moorage bordering commercial Building		08/03/2015	08/02/2018
Encroachment: Commercial Marina	Approximate not including multiple side ties, jet-ski ports and fueling Dock	250 Slips	05/09/2023	05/08/2026
Encroachment: Commercial Marina	26' x 72' main access Pier		05/23/1990	05/22/1993
Encroachment: Commercial Marina	Portion of 110' x 46' commercial Building		12/23/1977	12/22/1980
Encroachment: Commercial Marina	Thirteen (13) Pilings		09/08/1982	09/07/1985

Located on **PAYETTE LAKE** in VALLEY COUNTY, adjacent to:

Parcel Number	RPM000008ROW1
Lot, Block, Subdivision	Lots 1-10 in McCall's 1st Addition
Section, Township, Range	T18N R03E, Sec 09, Boise Meridian
Physical Addresses	1300 E Lake Street, McCall, ID, 83638, United States (USA)

General

- A. In order for this permit to be valid, Permittee must record this permit in the records of the county in which the encroachment is located and furnish proof of recordation to the Department pursuant to Idaho Code §§ 58-1305(h) and -1306(f).
- B. All applicable provisions of the Lake Protection Act (Idaho Code Title 58, Chapter 13) and Rules for Regulation of Beds, Waters, and Airspace over Navigable Lakes and Streams in the State of Idaho (IDAPA 20.03.04.000 *et seq.*) are incorporated herein by reference and made a part hereof.
- C. This permit does not convey the State's title to nor jurisdiction or management of lands lying below the natural or ordinary high-water mark.
- D. Construction must follow details and specifications shown on the approved application, plans, and drawings provided by Permittee. Should such information prove to be materially false, incomplete and/or inaccurate, this authorization may be modified, suspended, or revoked in accordance with the Administrative Procedures Act, Idaho Code Title 67, Chapter 52 and IDAPA 20.03.04.080.07. At any time, and prior to any modification to the application, plans, drawings, or encroachments Permittee must consult with the Idaho Department of Lands to determine if a new permit is required.
- E. Permittee shall maintain the structure or work authorized herein in a good and safe condition and in accordance with the approved application, plans and drawings. Permittee shall contact the Idaho Department of Lands 10 days prior to the planned start date of any maintenance or replacement activities.
- F. Acceptance of this permit constitutes permission by Permittee for representatives of the Idaho Department of Lands to come upon Permittee's Property at all reasonable times to inspect the encroachment authorized by this permit.
- G. Permittee shall indemnify, defend, and save harmless the State, its officers, agents, and employees from and against any and all liability, claims, damages, losses, expenses, actions, settlements, attorneys' fees, and suits whatsoever caused by, arising out of, or in connection with Permittee's acts or omissions under this permit or Permittee's failure to comply with any state or federal statute, law, regulation, or rule.
- H. Authorization for any activity authorized herein that is not completed on or before the completion date identified above, shall automatically terminate unless an extension was granted in writing by IDL.
- I. This permit supersedes and voids any permit previously issued for this property. Unless specifically authorized in this permit, any pre-existing or abandoned portions of encroachments, whether previously permitted or not, shall be removed from below the ordinary or artificial high-water mark.
- J. This permit does not relieve Permittee from obtaining additional approvals or otherwise complying with other local, state, or federal laws.
- K. Idaho State Water Quality Standards (IDAPA 58.01.02.000 *et seq.*) shall be maintained at all times during and after project start up.
- L. This permit is issued contingent upon Permittee's continuing status as an owner or lessee of the littoral right associated with the property described on page 1 of this permit.
- M. Permittee shall not assign this permit without first obtaining the written consent of IDL. Any request for approval of an assignment must be in writing, on forms provided by IDL, and accompanied by the applicable processing fee.
- N. Permittee assumes all liability for damages, which may result from the exercise of this permit.

1. Construction

- A. The Permittee or contractor shall have a copy of this permit available on site for inspection at all times during construction.

- B. Permittee is responsible for all work done by any contractor. Permittee shall provide contractor with a copy of this permit. Permittee shall ensure any contractor who performs the work is informed of and follows all the terms and conditions of this permit.
- C. Construction barges or other watercraft shall not be grounded on the lakebed for any reason.
- D. Permittee, contractor, and anyone acting on their behalf are prohibited from allowing equipment, boats, barges, or associated machinery to create petroleum product sheen on the water or otherwise create a release of petroleum or petroleum products due to petroleum products handling, use or storage. The contractor shall maintain an adequate supply of petroleum absorbent pads. The Emergency Response Team phone number, 1-800-632-8000, must be readily available at all times.
- E. Operation of excavation equipment will not be allowed below the ordinary or artificial high-water mark without prior written authorization from IDL. Equipment may be operated only on dry land above the level of the lake at the time of operation.
- F. Demolition debris and construction waste shall be removed from the lake and disposed of at an approved upland location.
- G. Foam flotation shall be completely encased in a manner that will maintain the structural integrity of the foam. The encasement shall be resistant to the entry of rodents and shall be replaced if cracked, damaged, or similarly compromised.
- H. It is illegal to possess or transport Quagga or Zebra mussels into or through Idaho, and to launch infested watercraft. Used boat lifts shall be inspected for invasive species and determined to be free from such species prior to installation. Permittee shall provide IDL with proof of inspection by an authorized inspector prior to installing the boat lift and/or placing it in the water. Prior to installation call 877-336-8676 for decontamination.
- I. Piles and pylons shall be driven with noise reduction devices.
- J. Construction materials shall be natural, or pressure treated utilizing only those preservative chemicals registered for the specific uses by the U.S. Environmental Protection Agency (EPA). All treated wood materials shall be produced in compliance with "Best Management Practices (BMPs) For the Use of Treated Wood in Aquatic and other Sensitive Environments" issued by the Western Wood Preservers Institute (WWPI) 2012. Treated materials not in contact with the water shall be completely dry before use near navigable waters. Use of Chromated Copper Arsenate (CCA) treated wood shall adhere to the EPA recommendations regarding use of arsenate treated wood. Contact Idaho Department of Environmental Quality for information on acceptable treatment methods and materials.
- K. All construction material including maintenance material must be stockpiled landward of the ordinary or artificial high-water mark
- L. No trees or vegetation shall be removed below the ordinary high-water mark without written approval of the Idaho Department of Lands.
- M. The disturbed portion of the lakebed shall be shaped to its original contour upon completion of the project.
- N. Any vegetation located below the ordinary high-water mark disturbed by construction activity shall be replanted with native plants, unless otherwise agreed to in writing by IDL.
- O. All construction shall meet the standards of the Uniform Building and International Fire Codes. Permittee shall contact the appropriate body of jurisdiction concerning these codes prior to installation.
- P. A silt curtain, fence, or other appropriate Best Management Practice (BMP) shall be installed waterward of the project site. It must remain in place and functional until the turbidity level inside the curtain, fence or BMP equals the turbidity outside the curtain, or until all disturbed sediment has been removed from the BMP and stabilized in an upland location.

Q. If any excavation or pile driving occurs the operator must comply with the provisions of the Underground Facilities Damage Prevention Law (Idaho Code Title 55, Chapter 22). The one-call locator service number is 811.

2. Submerged Land Leases and Easements

A. This permit is issued contingent upon the Permittee's agreement to enter into a submerged land lease pursuant to IDAPA 20.03.04.055. In the event the submerged lands lease is terminated, the Permittee may be solely responsible for removal of the encroachment.

ON BEHALF OF THE DIRECTOR

By:

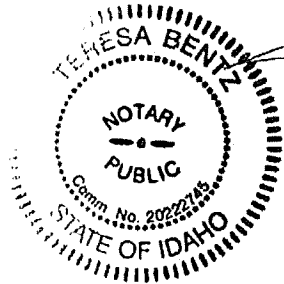
[Signature]
Scott Corkill, Area Manager
Payette Lakes Area Office

5/9/2023

Date

STATE OF IDAHO)
) ss
VALLEY COUNTY)

On May 09, 2023 personally appeared before me Scott Corkill, whose identity is personally known to me and who by me duly affirmed that he/she is the Area Manager, Payette Lakes Area Office of the Idaho Department of Lands, and acknowledged that the foregoing document was signed by him/her on behalf of said state agency by authority of a Resolution of the State Land Board.



[Signature]
Notary Public for Idaho Department of Lands
My commission expires on 5/12/28



City of McCall

PARKS AND RECREATION

www.mccall.id.us

216 East Park Street
McCall, Idaho 83638

Phone 208-634-3006

Main 208-634-7142

Fax 208-634-3038

February 15, 2021

Dear Payette Lake, Governing Agencies,

I write on behalf of the McCall Parks and Recreation Department, in support of the public waterfront amenities associated with Mile High Marina's, Wave Attenuation expansion and improvement project. In my professional opinion this project will benefit all lake users, compliment both past and current public waterfront projects, and address congestion, traffic, and environmental issues on and off the water in this area of Payette Lake.

The Parks and Recreation Department is tasked with maintaining and developing the community's public waterfront amenities. As the community of McCall and the outdoor recreation industry has grown our limited public waterfront amenities have become increasingly overcrowded during peak times. We are limited to just two public boat ramps on Payette Lake and have limited public shoreline along the Southern arm of Payette Lake.

The proposed project and partnership between Mile High Marina and the McCall Parks Department would achieve the following public benefits.

- Approximately one thousand (1,000) feet of new public shoreline in the form of a floating boardwalk / dock system. The proposed boardwalk will replace the current log boom wave attenuation system around the marina. This system and public amenity will be much safer and more attractive than the current log boom, and in addition to being open to the public for viewing and lake access it will have the potential for short term public moorage.
- Reduce congestion at the public boat ramp, reduce the number of day use launches, and mitigate parking issues by creating additional long- and short-term moorage slips within the marina.
- Reduce congestion along existing public shoreline, beaches, and parks facilities.
- Project compliments and will expedite the implementation of the proposed non-motorized use area to the north of the Marina, and the improvements currently underway at Brown Park and along E. Lake Street.

A partnership between the City of McCall Parks and Recreation Department and Mile High Marina to develop this public amenity in the form of a combined wave attenuation system and public boardwalk around the Marina has been in discussion for the better part of two years. The proposed marina expansion in conjunction with the new public boardwalk and wave attenuation system is necessary to offset the cost of implementation and establish a consistent long term revenue stream to offset ongoing maintenance costs. It has our departments full support and aligns with the Idaho Department of Lands (IDL) goals and objectives for lake management, IDL is the governing body and has jurisdiction of all encroachments beyond the Ordinary High Water Mark (OHM) on Payette Lake.

Sincerely,

Kurt K Wolf

Parks and Recreation Director, City Arborist

American Society of Landscape Architecture (ASLA)

ISA Certified Arborist (PN-7353A) – ISA Tree Risk Assessment Qualification

Website: www.mccallparksandrec.com

Email: kwolf@mccall.id.us



City of McCall

Pre Application

Date: 06/05/2023

Applicant / Additional Billing Contact / Owner

Applicant Name:	Jeff Hatch	Owner of Record
Address:	200 W 36th St	Name:
City, State, Zip:	Boise, ID 83714	Address:
Phone:	208-475-3204	City:
Email:	jeff@hatchda.com	State:
		Zip:
Addl Billing Contact:	Hatch Design Architecture	Phone:
Address:	200 W 36th St	Email:
City, State, Zip:	Bosie, ID 83714	Invoice Email:
Phone:	208-475-3204	
Email:	jeff@hatchda.com	Owner of Record 2:
		Address:
		City:
		State:
		Zip:
		Phone:
		Email:
		Invoice Email:

Property

Site Address:	450 S Samson Trail, McCall	Area:	City Limits
Legal Desc.:	SESE S16 T18N R3E	Sewer:	Not Applicable
Zoning District:	CC	Square Footage:	0

Contractor

Contact Name:	Jeff Hatch	Email:
Business Name:		Phone:
McCall License #:		Idaho #:
Mailing Address:	200 W 36th St, Boise, ID 83714	

Annexation Information

Annex Request:	No	Valley County:	No
Adjoining Land Use:	No	Conditional Use:	No
Parcel Split:	No	Project Type:	Commercial
Parcel Adjoin:	No	Water:	City Water
		Neighbor Meeting:	

Description: RV storage condos and contractor office/warehouse

Companion Applications

Record of Survey:	<input type="checkbox"/>	Subdivision (Final Plat):	<input type="checkbox"/>
Design Review:	<input type="checkbox"/>	Subdivision Minor Plat Amendment:	<input type="checkbox"/>
Scenic Route View:	<input type="checkbox"/>	Variance:	<input type="checkbox"/>
Shoreline and River Environs Review:	<input type="checkbox"/>	Rezone/Future Land/Comprehensive:	<input type="checkbox"/>
Conditional Use:	<input checked="" type="checkbox"/>	Zoning Code Amendment:	<input type="checkbox"/>
Development Agreement:	<input type="checkbox"/>	Annexation:	<input type="checkbox"/>
Planned Unit Develop (Prelim Plat):	<input type="checkbox"/>	Vacation:	<input type="checkbox"/>
Planned Unit Develop (Final Plat):	<input type="checkbox"/>	Land Use:	<input type="checkbox"/>
Subdivision (Prelim Plat):	<input type="checkbox"/>		

Details

Existing Cover:		Res Parcels:	
Proposed Cover:	0	Comm Parcels:	
Open Space Sq.Ft.:	0	Engineer Name:	
# of Parking:	0	Engineer Email:	
Max Grade %:	0	Engineer Phone:	
Average Grade %:	0	Pre-App Date:	
Total Acreage:	0	Condominiums:	No
Zoned Density:	0	Townhomes:	No
Proposed Density:	0	PUD Name:	
Total Exist Lot:	0	Architect Name:	
Total Proposed Lot:	0	Architect Email:	
Min Lot Frontage:	0	Architect Phone:	
Min Lot Size:	0	Proposed Uses:	
Surveyor Name:		Scenic Frontage:	
Surveyor Email:		# of New Trees:	
Surveyor Phone:		# of New Shrubs:	
Subdivision Name:		Floodplain:	
Existing Parcels:	0	Shoreline Frontage:	
Proposed Parcels:	0	High Water Mark:	
New Construction	0		
Sq Ft:			

Sign

Proposed color palette:
Total signage area existing:
Total signage area proposed:
Length of street facing wall in linear feet:
Length of property frontage in linear feet:
If multiple frontages, please add lengths from street 2:
Sign Company:
Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

Steve Thiessen

06/05/2023

Name

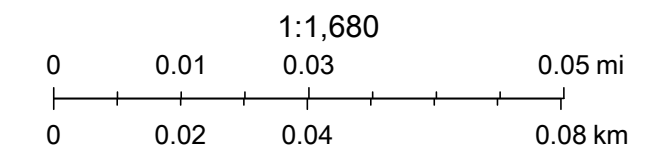
Date



6/5/2023, 2:05:36 PM

• Address Points

Parcel Summary & Improvement Report

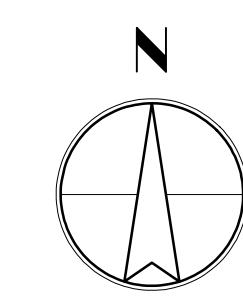


Maxar, Microsoft



SITE REFERENCE PLAN

SCALE: 1"=20'-0"



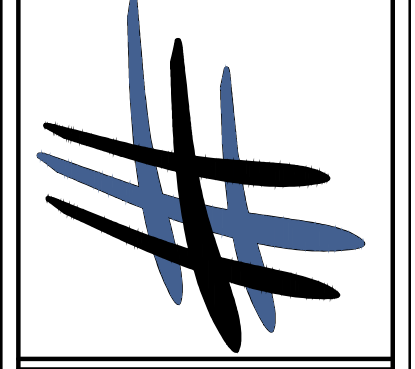
SITE RECAP

PARCEL #: RP18N03E169755
 PARCEL AREA: TOTAL - 2.81 ACRES (122,500 S.F.)
 CITY ZONING: CC
 SETBACKS:
 FRONT 5'-0"
 REAR 10'-0"
 SIDES 0'-0"

BUILDING AREA RECAP

BUILDING 1	TOTAL AREA:	5,750 SQ. FT.
BUILDING 2	TOTAL AREA:	5,750 SQ. FT.
BUILDING 3	TOTAL AREA:	8,400 SQ. FT.
BUILDING 4	TOTAL AREA:	15,960 SQ. FT.
CANOPY 1	TOTAL AREA:	2,610 SQ. FT.
TOTAL OVERALL AREA:		38,470 SQ. FT.

HATCH DESIGN
 ARCHITECTURE
 6126 W. STATE ST.
 BOISE, IDAHO 83703
 PHONE: (208) 475-3204
 FAX: (208) 475-3205
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 JEFF HATCH



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NEW CONSTRUCTION FOR:
ECHANIS STORAGE
 450 S SAMSON TRAIL, MCCALL, ID

DATE	DESCRIPTION/COMMENTS

DATE: MARCH 2023
 DRAWN BY: ST
 CHECKED BY: JLH
 JOB NUMBER: 23116

SHEET TITLE
SITE PLAN

SHEET NUMBER
A-1.0
 SHEET

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
FIRE IMPACT FEE) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
) **DECISION AND RECOMMENDATION TO THE**
) **CITY COUNCIL**
)
Amendment to the)
McCall Area)
Comprehensive Plan)
)

FINDINGS OF FACTS

Applicant: McCall Fire Protection District

Representative(s): Wm. F. Gigray, III

Application: An Application to consider an amendment to *The City of McCall In Motion 2018 McCall Area Comprehensive Plan* by the amendment of the *Public Facilities, Utilities, and Services, Goals + Policies* of the Comprehensive Plan by the addition of a new Goal 8 and Policy 8.1 for the purpose of enacting an ordinance and entering into the intergovernmental agreement with the McCall Fire Protection District for the collection and expending of development impact fees for the Fire District’s systems improvements as identified in the *McCall Fire Protection District Impact Fee Study and Capital Improvement Plan* Final Report – June 2022 (the “Capital Improvements Plan”) to be appended to the Comprehensive Plan as Appendix A.

Public Notices: Newspaper: The Notice of Hearing was published in the *Star News* on May 18, 2023.

FINDINGS OF FACT

The McCall Area Planning and Zoning Commission hereby finds that the proposed comprehensive plan amendment is in the public interest as fire protection and emergency medical services are essential services and the proposed comprehensive plan amendment provides an additional funding source to ensure those services are available in the future.

STATEMENT OF LEGAL AUTHORITY AND CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of an amendment to the McCall Area Comprehensive Plan, authorized by Section 67-6509, Idaho Code.
2. Adequate notice of the June 6, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. The City has the authority, pursuant to Chapter 82 of Title 67 Idaho Code, to enact impact fees by ordinance; and, pursuant to I.C. § 67-8204A, to enter into an intergovernmental agreement with the McCall Fire Protection District for the purpose of agreeing to collect and expend development impact fees for fire district systems improvements.
4. The City is required by I.C. § 67-8208 (1) to include as an element of its Comprehensive Plan the McCall Fire Protection District's Capital Improvement Plan.

DECISION AND RECOMMENDATION TO THE CITY COUNCIL

THEREFORE, the McCall Area Planning and Zoning Commission hereby **recommends** that the above entitle application amendment of the *The City of McCall In Motion 2018 McCall Area Comprehensive Plan* be **approved and granted** by the McCall City Council .

Findings of Fact **adopted** this 11th day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Findings of Fact, Conclusions of Law, Decision and Recommendation to the City Council

Attest:

Brian Parker, City Planner
City of McCall

DRAFT

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
BOYDSTUN PLACE) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
Planned Unit) **AND DECISION**
Development)
Application Number:)
PUD-22-01, SUB-22-05,)
DR-22-02)

FINDINGS OF FACTS

Applicant: Urban Design+Build

Representative: Shellan Rodriguez

Application: An application for a Planned Unit Development Preliminary Plan and Subdivision Preliminary Plat to construct 14 townhouse dwelling units on a 1.78-acre parcel.

Companion Applications: SUB-22-05, DR-22-02

Location: Amended Tax Parcel No. 302 in Government Lot 3, situate in the NW ¼ of the SW ¼ of Section 8, T18N, R3E, B.M., Valley County, Idaho.

Pre-Application Meeting Date: October 5, 2021

Public Notices: Newspaper: The Notice of Hearing was published in the *Star News* on April 13, 2023.
Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on April 13, 2023.
Posting: The Notice of Hearing was posted by the applicant on the subject property on April 13, 2023.

Zoning: R8 – Medium Density Residential

Property Size: 1.78-acres

APPROVAL STANDARDS

Title 3, Chapter 10

- (A) The underlying zoning, title IX of the McCall City Code, and other applicable regulations under title III and title IX of the McCall City Code are met, except as the applicant has specifically requested modifications to the standards as part of the PUD.** The project meets the underlying zoning of R8 – Medium Density Residential. The applicable regulations under Title III and Title IX of McCall City Code are met, and the applicant is not requesting any code alleviations.
- (B) The proposed uses shall not be detrimental to present and potential surrounding uses; nor shall they be detrimental to the health, safety and general welfare of the public. The physical features of the site, public facilities, and existing adjacent developments and uses shall be considered.** The proposed residential use is compatible with the existing zoning, the future land use plan, and the surrounding mixed use development and will not be detrimental to the health, safety and general welfare of the public.
- (C) The density of the planned unit development considered as a whole shall be in substantial conformity with the density of the underlying zone.** The density of the planned unit development is in conformity with the density of the R8 – Medium Density Residential zone.
- (D) Any variation from the basic zone requirements must be warranted by the design and amenities incorporated in the preliminary and final development plan.** The development includes the following amenities incorporated in the preliminary plan:

- a. One (1) barbeque shelter and one (1) pet play area.

(E) The planned unit development must meet the general objectives of the McCall Area

Comprehensive Plan. The proposed residential use is compatible with the future land use plan and general objectives of the McCall Area Comprehensive Plan.

(F) Existing and proposed streets and utility services must be suitable and adequate for

the proposed development. The proposed streets and utility services appear that they will be suitable and adequate for the development.

(G) A development agreement is required between the developer and the city which

delineates commitments of the developer to the city and of the city to the developer including, but not limited to, assurances for public and private improvements and maintenance of the same. The developer has not proposed a development agreement.

(H) A PUD may be proposed in conjunction with an application to amend the zoning map and the Comprehensive Plan. N/A

PUD Development Standards [MCC 3.10.08]

1. **Residential Density:** The applicant proposes fourteen (14) residential townhouse units on the 1.78-acre property, which meets the density of the underlying zoning of R8 – Medium Density Residential, which requires 5,000 square feet of land per dwelling unit.
2. **Yards:** Pursuant to McCall City Code section 3.10.08.G, each dwelling unit should be provided with a minimum of one hundred (100) square-feet of private, landscaped, open space. The proposed development provides more than 100 square-feet of private open space.
3. **Off Street Parking:** Off street parking will be reviewed with individual building permits. Lots are adequately sized to allow for off street parking.

4. **Signs:** No signs have yet been proposed for the development. Any proposed signs will require review and approval by the City of McCall.
5. **Storm Water Management:** Conceptual grading and stormwater management plans indicate that the project will be able to comply with the City’s drainage and management guidelines and final design approval will be required as part of final engineering approval .
1. **Open Space; Common Areas; Amenities:** The adequate open space has been incorporated into the perimeter of the proposed subdivision.
2. **Required Setbacks:** The proposed structures meet the setback requirements of the R8 – Medium Density Residential Zone.
6. **Landscaping:** The landscaping plan appears to meet the requirements of McCall City Code.
7. **Private Streets:** N/A
3. **Lighting Plan:** All lighting shall be in conformance with McCall City Code Chapter 14, Title III.

DEPARTMENT/AGENCY COMMENTS

Agency –

McCall Public Works

See attached letter dated August 31, 2021.

Payette Lakes Recreational Water and Sewer District (PLRWSD)

See attached letter dated August 18, 2021.

McCall Fire District

In an email dated August 25, 2021, the McCall Fire Chief stated the following:

A fire hydrant will need to be added on Pinedale Street so that each of the buildings are within 400 feet of a City of McCall fire hydrant (2018IFC, 507.5.1).

Depending on building construction and unit separation, the buildings may need to have fire sprinkler systems installed in accordance with 903.2.8.1 of the 2018 International Fire Code – to be determined by the City of McCall Building Official.

In the event that the buildings utilize propane, I would like to see the development install a metered system, and the tank location/s approved prior to installation.

Central District Health

See attached letter date stamped by the City on August 4, 2021.

Public –

No public comment has been received.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of application for Planned Unit Development, authorized by Section 67-6512, Idaho Code, pursuant to Title 3, Chapter 10 of McCall City Code.
2. Adequate notice of the May 2, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Planned Unit Development Standards set forth in Title 3 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **recommends** this Planned Unit Development application for **approval** by the McCall City Council, provided that the following conditions are met (Commission additions in underline):

	Prior to	Condition	Recommended Contact
1.	Any site work or disturbance	The applicant shall receive final engineering approval	Staff Engineer
2.	Scheduling a hearing with the McCall City Council	<p>The applicant shall provide cost estimates for:</p> <p>a. 0.38 acres of land, as appraised pursuant to McCall City Code Section 9.3.107. <u>The highest and best use considered for the appraisal shall be as a “pocket park.”</u></p> <p>b. The cost of the purchase and installation of a minimum of six (6) trees, at least one (1) of which should be four inches (4”) or greater and no more than three (3) trees should be of a single species, finished grading and ground cover, one (1) picnic table, one (1) trash container, and one (1) park bench.</p> <p>The applicant shall enter into an escrow agreement for the en lieu fee prior to the submittal of a final plat and final development plan application.</p>	City Planner
3.		The applicant shall provide specific plans for the kids and pets play area including location, materials, fencing, equipment, and maintenance	City Planner
4.	The execution and recordation of the Subdivision Final Plat	The applicant shall construct all required street and pathway improvements and underground the overhead utility lines along street frontages and shall obtain final approval of these aspects from the City of McCall. Alternatively, the applicant shall obtain approval of an Escrow Agreement with the City and shall provide financial assurances for any deferred improvements.	City Planner
5.		The applicant shall provide digital files of the plat in accordance with the McCall Digital Data Submission Standards.	Staff Engineer
6.		All easements shall be indicated on the final plat and shall be formally	Staff Engineer

		documented with signed declarations and recorded with the plat.	
7.	The issuance of a building permit for any lot	The applicant shall provide proof of sewer permit.	Payette Lakes Recreational Water and Sewer District
8.		The applicant shall record the final plat.	City Planner

Expirations

1. Pursuant to McCall City Code (MCC 9.2.06.H), preliminary subdivision plat approval shall lapse and become void whenever the applicant has not applied for final plat approval within eighteen (18) months from the date of preliminary plat approval by McCall City Council. Alternatively, the applicant shall obtain approval of a Development Agreement with the City that details a phasing plan and completion timeline.

Other

1. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.

Findings of Fact **adopted** this 11th Day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
COY ESTATES) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
Final Planned Unit) **AND DECISION**
Development and)
Final Plat)
)
Application Number:)
PUDF-23-02, FP-23-02)

FINDINGS OF FACTS

Applicant: Corby Garrett

Application: An application for a Planned Unit Development Final Plan and Subdivision Final Plat to create 8 single-family lots out of an existing parcel of 9.22 acres.

Procedural History: During its regularly scheduled March 1 ,2022 meeting, the McCall Area Planning and Zoning Commission held a properly noticed public hearing and recommended the Planned Unit Development General Plan and Subdivision Preliminary Plat to the Valley County Board of Commissioners for approval.

During their regularly scheduled July 18 meeting, the Valley County Board of Commissioners held a properly noticed public hearing and approved the Coy Estates Preliminary PUD General Plan and Subdivision Preliminary Plat as recommended by the McCall Area Planning and Zoning Commission.

Location: Tax Parcel No. 22, situate in the E ½ of the SE ¼ of Section 18, T18N, R3E, B.M., Valley County, Idaho.

Public Notices: Public hearings are not required for PUD Final Plan review
pursuant to MCC 3.10.09.

Zoning: R1 - Residential

Property Size: 9.22-acres

APPROVAL STANDARDS

Title 3, Chapter 10

- 1. The underlying zoning, title IX of the McCall City Code, and other applicable regulations under title III and title IX of the McCall City Code are met, except as the applicant has specifically requested modifications to the standards as part of the PUD.** The project meets the underlying zoning of R1 - Residential. The applicable regulations under Title III and Title IX of McCall City Code are met.
- 2. The proposed uses shall not be detrimental to present and potential surrounding uses; nor shall they be detrimental to the health, safety and general welfare of the public. The physical features of the site, public facilities, and existing adjacent developments and uses shall be considered.** The proposed low-density residential use is compatible with the existing zoning, the future land use plan, and the surrounding low density residential development and will not be detrimental to the health, safety and general welfare of the public.
- 3. The density of the planned unit development considered as a whole shall be in substantial conformity with the density of the underlying zone.** The proposed low-density residential use is compatible with the existing zoning, the future land use plan, and the surrounding low density residential development and will not be detrimental to the health, safety and general welfare of the public.

- 4. Any variation from the basic zone requirements must be warranted by the design and amenities incorporated in the preliminary and final development plan.** The development includes the following amenities incorporated in the preliminary plan:

 - a. Share the road markings in accordance with the McCall Area Pathways Plan
 - b. A prohibition on short-term rentals.
- 5. The planned unit development must meet the general objectives of the McCall Area Comprehensive Plan.** The proposed low density residential use is compatible with the existing zoning, the future land use plan, and the surrounding low density residential development and will not be detrimental to the health, safety and general welfare of the public. The McCall Area Comprehensive Plan encourages a variety of housing types.
- 6. Existing and proposed streets and utility services must be suitable and adequate for the proposed development.** The proposed streets and utility services appear that they will be suitable and adequate for the development.
- 7. A development agreement is required between the developer and the city which delineates commitments of the developer to the city and of the city to the developer including, but not limited to, assurances for public and private improvements and maintenance of the same.** The property is subject to an existing development agreement. The applicant is proposing to provide financial assurances for the incomplete required improvements.
- 8. A PUD may be proposed in conjunction with an application to amend the zoning map and the Comprehensive Plan.** N/A

PUD Development Standards [MCC 3.10.08]

- 1. Residential Density:** The applicant proposes 8 residential parcels on the 9.22 acre property, which meets the density of the underlying zoning of R1 - Residential.
- 2. Yards:** Pursuant to McCall City Code section 3.10.08.G, each dwelling unit should be provided with a minimum of one hundred (100) sq. ft. of private, landscaped, open space. The proposed provides more than adequate private open space.
- 3. Off Street Parking:** McCall City Code (MCC 3.8.062) requires that single family homes provide a minimum of two (2) parking spaces per residential unit. Parking is to be verified at the time of issuance of a building permit.
- 4. Signs:** Any proposed signs will require review and approval by the City of McCall.
- 5. Storm Water Management:** Storm water plans are required to be approved by the McCall City Engineer.
- 9. Open Space; Common Areas; Amenities:** Adequate open space exists on the plat.
Required Setbacks: Building setbacks will be verified at the time of building permit issuance.
- 6. Landscaping:** N/A
- 7. Private Streets:** Private streets may be utilized within the project, subject to the requirements of title IX, chapter 6 of this code, when the following requirements are met:
 - a. The commission, after recommendation from city staff and the fire chief, finds that the design of the proposed streets, pedestrianways and off street parking is adequate to protect public health, safety and welfare and will adequately accommodate anticipated uses within the development, as well as**

appropriately contribute to the city's need for a connected street network.

The streets, pedestrian pathways and off-street parking are adequate to accommodate the anticipated uses within the development.

- b. **Private streets shall be owned by a homeowners' association and all future repair and maintenance costs, including reconstruction, shall be borne by the homeowners.** Prior to execution and recordation of the Final Plat, the applicant shall provide a maintenance reserve funding plan schedule for the private road for review and approval by the City Engineer.

10. Lighting Plan: N/A

DEPARTMENT/AGENCY COMMENTS

- McCall Public Works
In an email dated June 5, 2023, the City of McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **PUDF 23-02** and have the following comments and concerns.

Plat:

1. The full right-of-way widths shown on the plat needs to be labeled.
2. With no stormwater report submitted for the subdivision, please add a note to the plat that details that each lot is responsible for showing compliance with the City's Drainage Management Guidelines prior to construction.
3. Note 15 states that Lot 5 is subject to an easement for access and operation of the fire tank, is that easement included within the Fire Tank Easement? Or is it a separate easement? If it is a separate easement, it is not shown on the plat currently and should be added.
4. The plat needs to describe how the measurements were obtained; ground, gps, etc. If derived from GPS measurements, the submission must also note the geoid model and epoch.

5. The plat boundary shall include two separate control ties to city of McCall control points. The ties must be tied to two different control points and those control points must tie to separate corners within the drawing.
6. Once the final plat draft is complete, two digital CAD files, prepared in accordance with the City’s digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>
7. Prior to the City signing the plat, we will need confirmation from McCall Fire (and/or the project’s design engineer) that the system has been installed in accordance with their stamped design as well as confirmation from McCall Fire that it has been inspected and installed to their satisfaction.

The comments above, and any subsequent comments from plan revisions, shall be addressed prior to Final Engineering Approval. Please continue to work with me to address the comments above. Final Engineering Approval is required prior to building permit issuance. Please let me know if you have any questions or concerns.

- Central District Health:
See attached letter dated May 15, 2023.
- McCall Fire & EMS:
In an email dated May 16, 2023, the McCall Fire Chief provided the following comments:

The fire district will need to inspect and test the water storage tank.

- McCall Airport:
In an email dated May 17, 2023, the McCall Airport Manger provided the following comments:

IN HORIZONTAL SURFACE. LESS THAN TWO MILES FROM MYL. FAA
ONLINE CRITERIA TOOL/FORM 7460-1 AND AVIGATION EASEMENT
REQUIRED FOR ALL SUBDIVISION BUILDING PERMITS.

Public

- No public comment received to date.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of application for Planned Unit Development, authorized by Section 67-6512, Idaho Code, pursuant to Title 3, Chapter 10 of McCall City Code.
2. Upon compliance with the conditions noted below, the application meets the Planned Unit Development Standards set forth in Title 3 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **recommends** this Planned Unit Development application and Subdivision Final Plat application to the Valley County Board of Commissioners for approval, provided that the following conditions are met:

	Prior to	Condition	Recommended Contact
1.	Recordation and execution of the final plat	The applicant shall receive final engineering approval	Staff Engineer
2.		The applicant shall construct all required street and pathway improvements and underground the overhead utility lines and shall obtain final approval of these aspects from the City of McCall. Alternatively, the applicant shall obtain approval of a Development Agreement with the City and shall provide financial assurances for any deferred improvements.	City Planner
3.		The applicant shall provide digital files of the plat in accordance with the McCall Digital Data Submission Standards.	Staff Engineer
4.		All easements shall be indicated on the final plat and shall be formally documented with signed declarations and recorded with the plat.	City Planner
5.		The applicant shall provide proof of acceptance of the water tank by the McCall Fire Protection District	Fire Chief
6.		the applicant should provide a revised plat with a correct survey narrative.	
7.		The issuance of a building permit for any lot	Proof of sewer or septic permit shall be provided

Expirations

1. Pursuant to McCall City Code (MCC 9.2.07(F)), final subdivision plat approval shall lapse and become void whenever the applicant has not recorded the plat within eighteen (18) months from the date of final plat approval by McCall City Council. Alternatively, the applicant shall obtain approval of a Development Agreement with the City that details a phasing plan and completion timeline.

Other

1. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.

Findings of Fact **adopted** this 11th Day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
RUSTIC VILLAGE) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
MINOR PLAT) **AND DECISION**
AMENDMENT)
)
Application Number:)
MPA-23-01)

FINDINGS OF FACTS

Applicant: Rustic Village Owners Association

Representative: Brian Kirkwood

Application: A petition for a Minor Subdivision Plat Amendment to vacate undeveloped Lots 9 and 16 and dedicate as part of the Common Area Parcel.

Location: The Amended Rustic Village II Condominium Subdivision, situate in the N ½ of the NW ¼ of the NW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

Public Notices: Public hearings are not required for minor plat amendments pursuant to MCC 9.2.07.

Zoning: R8 – Medium Density Residential

Property Size: 0.8-acres

APPROVAL STANDARDS

Title 9, Chapter 1

Subdivision and Development Provisions

- 1. The applicant, based on the size of the proposed subdivision, was not required to submit an accompanying Planned Unit Development application. Per McCall City**

Code Section 9.1.02 a Planned Unit Development application is required in conjunction with a subdivision application in the R8 –Medium Density Residential Zone when the development exceeds 4.0 acres in size. The proposed development is 0.8-acres and is therefore not required to submit an accompanying Planned Unit Development application.

2. **No subdivision shall be approved which affects the ability of a political subdivision of the state, including school districts, to deliver services without compromising quality or service delivery to current residents or imposing substantial additional costs upon current residents, unless the subdivider provides for the mitigation of the effects of subdivision.** The proposal is not creating any additional residential parcels, and is therefore unlikely to have an impact on any political subdivision of the state.
3. **When an owner of contiguous parcels proposes to subdivide any portion of the contiguous parcels, an area development plan shall be submitted and approved. The commission and council shall evaluate the following basic site criteria and make appropriate findings of fact regarding the area development plan.**
 - a. **Streets, whether public or private, provide an interconnected system and shall be adequate to accommodate anticipated vehicular and pedestrian traffic and to meet the requirements of its functional classification.** No new streets are proposed.
 - b. **Nonvehicular circulation routes provide safe pedestrianways and bicycleways and provide an interconnected system to streets, parks and green space, public lands, or other destinations.** No new nonvehicular pathways are proposed.

- c. Water main lines and sewer main lines are designed in the most effective layout feasible and meeting the applicable standards.** Existing water and sewer lines are adequate to continue serving the site.
 - d. Other utilities, including power, telephone, and cable, are designed in the most effective layout feasible.** All utilities currently exist.
 - e. Park land is most appropriately located on the contiguous parcels.** N/A.
 - f. Grading and drainage are appropriate to the contiguous parcels.** Final engineering approval is required.
 - g. Development avoids easements and hazardous or sensitive natural resource areas.** No hazardous or sensitive areas are identified on site.
- 4. The subdivision application contains more than four (4) lots and is therefore not eligible for the Record of Survey procedure.** The plat amendment does not qualify for the record of survey procedure.
- 5. All subdivisions of land, records of survey, and all dedications and vacations of streets must comply with the McCall area comprehensive plan as adopted by the council and with the current zone as defined in title III of the McCall City Code.** The proposed subdivision complies with all requirements of the McCall City Codes Titles 3 and 9 and is in conformance with the 2018 McCall Area Comprehensive Plan.

Subdivision Design Standards [MCC Title 9, Chapter 3]

- 1. Blocks:** The access allows for only one tier of blocks.
- 2. Lots:** The lot size, width, depth, shape, orientation, and the minimum building setback lines conform to applicable zoning and be appropriate for the location of the subdivision and for the type of development and use contemplated. Every lot abuts upon a street.

3. **Streets:** No new streets are proposed
4. **Alleys:** N/A
5. **Easements:** A new twelve (12) foot wide snow storage and utility easement is required to be identified along Stibnite Street.
6. **Pedestrian and Bicycle Pathways and Greenbelts:** No new nonvehicular pathways are proposed.
7. **Snow Storage:** Adequate snow storage exists.
8. **Monuments and Signage:** None proposed.
9. **Parks:** N/A.

Subdivision and Development Improvement Requirements [MCC Title 9, Chapter 6]

1. **Streets:** No new streets are proposed
2. **Street Name Signs:** N/A
3. **Street Lighting:** N/A
4. **Sidewalks:** No sidewalks exist on site or are proposed.
5. **Drainage Facilities:** Final engineering approval is required.
6. **Water Supply:** Water service currently exists.
7. **Sanitary Sewer:** Sewer service currently exists.
8. **Dry Lines:** N/A
9. **Paved Pathways:** No paved pathways exist on site or are proposed.
10. **Underground Power and Telephone:** All utilities currently exist.
11. **Landscaping:** The site is landscaped.
12. **Irrigation Wells:** N/A

13. Drainage: Final engineering approval is required, which will ensure that drainage is appropriate.

14. Building Numbers: Building numbers exist.

15. Perimeter Walls, Gates and Berms: N/A

16. Perimeter Fencing: None proposed

17. Driveways: N/A

Other Provisions Applicable to All Subdivisions and Development [MCC 9.7.09]

1. Public Places: N/A

2. Streets and Access: No new streets are proposed

3. Culture/Community: No historic ranching or farming operations, buildings, or sacred site are identified within the development.

4. Visual

a. Identify and preserve unique views. The development does not impede any unique views.

b. Minimize exotic landscaping, the size of building footprints, and the amount of impervious surface devoted to roadways. The buildings are already constructed.

c. Where vegetation of the natural landscape is sparse, limit additional landscape plantings, except for native plants. The proposed parcels are all partially treed with native vegetation, which will remain.

d. Where natural vegetation or topography does not allow for "hiding" development, locate structures such that they are subordinate to the horizon and significant view sheds. N/A.

- e. **Cluster developments in a manner so as to maximize visually significant open space.** N/A
 - f. **Nestle structures below ridgelines and with the folds of hills.** N/A
 - g. **Avoid or mitigate ridge top "skylining" that alters the natural land profiles with built structures.** N/A
 - h. **Minimize visual clutter within scenic corridors.** The development is not located on a scenic corridor.
 - i. **Design buildings on hillsides to follow the natural terrain in a manner that minimizes earth disturbance.** N/A
 - j. **Preserve and protect significant foreground views along scenic corridors.**
The development is not located within a scenic corridor.
 - k. **Avoid fencing altogether to allow the landscape to flow uninterrupted.** No fencing is proposed at this time.
5. **Architecture and Design:** No structures or design guidelines are proposed at this time.
- Each lot will be sold and developed individually and shall adhere to all elements of the McCall City Code and Design Guidelines at the time of development.

DEPARTMENT/AGENCY COMMENTS

- Central District Health:
See attached letter dated May 15, 2023.
- Valley County Cartography Department:
In an email dated May 23, 2023, the Valley County Cartography Department provided the following comments:

This office has no objection to the proposed Rustic Village Condominium Subdivision.

John, you may wish to consider the following:

- There is a discrepancy between the plat face and the Certificate of Owners for the subdivision boundary legal description's last call. 144.82 vs. 144.83 feet.
- The subdivision name differs between the plat face and in the Certificate of Owners under the Approval of the McCall Planning and Zoning Commission, Approval of the City Engineer, the Certificate of Valley County Surveyor, the Certificate of Surveyor, and the Approval of the County Treasurer sections. "Second Amended Plat of Rustic Village Condominiums" vs. "Second Amended Plat Rustic Village Condominium Subdivision"
- Two parcel numbers appear to be missing in the Certificate of Owners Approval of the County Treasurer section. RPM033400C0090 and RPM033400D0160. These are the units being vacated with this plat but these parcels are currently assessed taxes and may be subject to Treasurer Office Approval as well.
- Note 1 on the plat face references CC&Rs Inst # 220810. There are two more CC&R documents specifically pertaining to Buildings C & D that you may wish to consider referencing as well. Inst # 294226 4/7/2005 and Inst # 369300 5/14/2012.
- It appears these units have a second level per the First Amended Plat Rustic Village Condominium Subdivision plat and our office records. Is it your intent to include the upper level floor plans as well?
- To a layman's eyes, it could be interpreted that the common area is enclosed within the edge of the pavement lines. Maybe there is an alternate way to show the common area so it is understood that it includes all the area outside of the buildings and not just the paved area?

Thank you for the opportunity to review this proposed subdivision.

Public

No public comments have been received to date.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of application for Subdivision, authorized by Section 67-6512, Idaho Code, pursuant to Title 3, Chapter 13 of McCall City Code.
2. Public notice of the final plat application is not required.

3. Upon compliance with the conditions noted below, the application meets the Subdivision Standards set forth in Title 9 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **recommends** this Minor Plat Amendment application to the McCall City Council for approval, provided that the following conditions are met:

	Prior to	Condition	Recommended Contact
1.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer

Findings of Fact **adopted** this 11th day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
QUAKER HILL) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
DINING HALL) **AND DECISION**
)
Design Review,)
Scenic Route Review, and)
)
Application Number:)
DR-23-11, SR-23-10)

FINDINGS OF FACTS

Applicant: Quaker Hill Camp and Conference Center

Representative: Jon Walker and Jake Lehman

Application: A Design Review and Scenic Route Review application to create an addition and to remodel a portion of an existing cafeteria resulting in a 9,752 square foot structure adjacent to Warren Wagon Road, a designated scenic route.

Address: 1440 Warren Wagon Rd., McCall, ID

Location: Tax Lot Number 56 situate in the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the Star News on May 18, 2023.

Mailing: The applicant mailed the Notice of Hearing to property owners within 300 feet on May 22, 2023.

Posting: The applicant posted the Notice of Hearing on the subject property on May 22, 2023.

Zoning: R4 – Low Density Residential

Property Size: 455,158 sq. ft. (10.45 acres)

Lot Coverage: 11,376 sq. ft. (25% of allowable)

Building Height: 32 ft. from existing grade

Dimensional Standards

	Proposed	Required
Front Setback	100-feet, 0-inches	Greater than 25-feet
Rear Setback	200-feet, 0-inches	Greater than 20-feet
Side Yard Setback 1	200-feet, 0-inches	Greater than 15-feet, 0-inches
Side Yard Setback 2	15-feet, 0-inches	Greater than 15-feet, 0-inches
Eave Height 1	27-feet, 0-inches	Less than 35-feet, 0-inches
Eave Height 2	27-feet, 0-inches	Less than 30-feet, 0-inches
Both Side Setbacks must add up to:	215-feet, 0-inches	Greater than 114-feet, 10-inches
Lot Coverage (square-feet)	11,502 square-feet	Less than 45,516 square-feet
Lot Coverage (percent)	2.5%	Less than 10.%
Snow Storage	Not Identified	Greater than 1,225 square-feet
Building Height	30-feet, 0-inches	Less than 35-feet
Structure Size	8,151 square-feet	Less than 10,000 square-feet

APPROVAL STANDARDS

Scenic Route Zone

The Commission shall determine whether the proposed development, improvement, or use:

1. **Blocks or disrupts the visibility of significant views or features.** The addition is to the rear of the existing structure and does not block or disrupt the visibility of significant views or features.
2. **Is compatible (in terms of setback, bulk, height, design, finish materials, signing and landscaping) with its immediate surroundings and the desired visual quality of the scenic route.** The proposed addition is compatible in terms of setback, design, materials, and landscaping with the desired visual quality of the scenic route.

Title 3, Chapter 16

Design Review

The commission or administrator shall determine the following before approval is given:

1. **The project is in general conformance with the comprehensive plan.**
2. **The project does not jeopardize the health, safety or welfare of the public.**
3. **The project conforms to the applicable specifications outlined in the "City Of McCall Design Guidelines", incorporated by reference herein, as well as all other applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.** Please see the review of the Design Guidelines below.

DESIGN GUIDELINES

General Guidelines

1. **Building Scale:** The proposed addition is in scale with the lot size and use and is harmonious with nearby buildings and natural features.
2. **Pedestrian Character:** N/A
3. **Blank Walls:** The project minimizes blank walls by including windows on all facades and use of architectural details.

4. **Storefront:** N/A
5. **Parking:** The Quaker Hill Camp and Conference Center has an approved Conditional Use Permit from 1999 that permits the existing parking for over 100 vehicles. The applicant is not proposing on adding or modifying the parking area as part of this application.

Guidelines for All Projects

Site Planning

1. **Building Siting:** The proposed addition is situated to the rear of the existing kitchen, and will minimally visible from the scenic route.
2. **Adjacent Buildings and Uses:** The proposed kitchen expansion is permitted as part of the 1999 Conditional Use Permit.
3. **Preserve Vegetation and Wildlife:** The proposed building site does not impact water courses, wildlife corridors, wetlands or significant natural features. The lot is heavily wooded and the trees between the structure and Warren Wagon Rd. will not be impacted.
4. **Preserve Views:** The proposed building site does not impact significant views.
5. **Preserve Skylines:** The proposed building site is not on a skyline or ridge-top.
6. **Preserve Natural Drainage:** Final grading and drainage plans are required prior to issuance of a building permit to ensure that natural drainage is preserved and to mitigate negative impacts to neighboring properties.
7. **Cluster Buildings:** N/A
8. **Street Alignment:** An existing drive approach off Warren Wagon will not be changed.
9. **Retaining Walls:** No retaining walls are proposed.
10. **Snow Storage:** The site is of significant size to accommodate onsite snow storage.

11. **Roof Design and Snow:** The proposed shingle roof is anticipated to hold snow.
12. **Use the Sun:** The proposed addition includes windows on all facades to utilize natural light.
13. **Screen Service Areas:** N/A
14. **On-Site Parking:** The Quaker Hill Camp and Conference Center has an approved Conditional Use Permit from 1999 that permits the existing parking for over 100 vehicles. The applicant is not proposing on adding or modifying the parking area as part of this application.
15. **Circulation Needs – Pedestrian and Vehicles:** N/A

Architecture

1. **Enhance McCall Classic Styles:** The proposed addition is compatible with McCall Classic styles.
2. **Minimize Scale:** The proposed addition is of large scale.
3. **Building Additions:** The proposed addition complies with all provisions of the McCall City Code and is compatible with the existing structure.
4. **Roof Lines:** The addition's roof line is long and not varied.
5. **Mechanical Equipment:** N/A
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** No balconies or porches are proposed.
8. **Exterior Doorways:** The exterior doorways serve the intended function.
9. **Wall Materials:** The wall materials include wood siding with stone accents.
10. **Shop Front Design:** N/A
11. **Wall Colors:** The wall colors will be of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Prior to issuance of a building permit, the applicant shall either verify that no exterior light fixtures will be installed or the applicant shall provide fixture type detail for review and approval by the City of McCall in accordance with McCall's Outdoor Lighting Ordinance.
2. **Fences and Walls:** No fences or walls are proposed.
3. **Paving and Streetscapes:** N/A
4. **Landscaping Plan:** No changes to the existing natural landscaping are proposed. The applicant will be required to re-vegetate any areas disturbed by construction with natural vegetation.
5. **Utility Installations:** Utilities serving the proposed structure shall be installed underground, pursuant to McCall City Code (MCC 9.6.02).
6. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible during construction.
7. **Preserve Existing Trees:** The lot is heavily wooded and many trees could be impacted during construction. Accordingly, as a Condition of Approval and prior to issuance of a building permit the tree protection plan shall be reviewed and approved by City Arborist. None of the trees between the structure and the scenic route will be impacted.
8. **Grading and Drainage:** Final grading and drainage plans are required prior to issuance of a building permit to ensure that natural drainage is preserved and to mitigate negative impacts to neighboring properties.
9. **Sidewalks/bike paths:** The section of Warren Wagon Rd. adjacent to the project is designated as having on street bike lanes.

DEPARTMENT/AGENCY COMMENTS

- Central District Health:
See attached letter dated May 15, 2023
- Payette Lakes Recreational Water and Sewer District:
See attached letter dated May 15, 2023
- McCall Fire & EMS:
In an email dated May 16, 2023, the McCall Fire Chief provided the following comments:

The building will need to have an automatic fire sprinkler system installed and monitored and a manual fire alarm system installed and monitored. Fire sprinkler plans and alarm plans will need to be submitted to the Idaho State Fire Marshals Office for plan review.

The building will need fire extinguishers located no more than 75' of travel distance in a conspicuous and unobstructed location, and a KNOX box will need to be installed in an approved location.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the June 6, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review application, provided that the following conditions are met:

	Prior to	Condition	Recommended Contact
1.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer
2.		The applicant shall conduct a tree consultation with the McCall City Arborist	City Arborist
3.		The applicant should provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of driveway and uncovered walkway area.	City Planner
4.	The issuance of a certificate of occupancy	The applicant reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 11th day of JULY, 2023.

 Robert Lyons, Chair
 McCall Area Planning and Zoning Commission

Attest:

 Brian Parker, City Planner
 City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
ADCOCK) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
ADDITION) **AND DECISION**
)
Design Review and)
Scenic Route Review)
)
Application Number:)
DR-23-12, SR-23-09)

FINDINGS OF FACTS

Applicant: Adcock Ventures, LLC

Representative: Mike Robnett, Robnett Properties

Application: An Application for Design Review and Scenic Route Review to construct a 2-story, 4,062 square foot addition to an existing garage structure to add 1,629 square feet of living space and additional 2,433 square foot garage. The final structure will total 6,657 square feet.

Address: 2058 Eastside Way

Location: Lot 2 of Block 1 of the Spruce Grove Subdivision, situate in a portion of the SW ¼ of the NE ¼ of Section 2, T18N, R3E, B.M., Valley County, Idaho

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on May 18, 2023.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on May 18, 2023.

Posting: The Notice of Hearing was posted by the applicant on the subject property on May 18, 2023.

Zoning: RR – Rural Residential

Property Size: 0.69 acres

Dimensional Standards:

	Proposed	Required
Front Setback	62-feet, 0-inches	Greater than 25-feet
Rear Setback	10-feet, 0-inches	Greater than 10-feet
Side Yard Setback 1	36-feet, 0-inches	Greater than 15-feet, 0-inches
Side Yard Setback 2	64-feet, 0-inches	Greater than 15-feet, 0-inches
Eave Height 1	27-feet, 0-inches	Less than 35-feet, 0-inches
Eave Height 2	27-feet, 0-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	100-feet, 0-inches	Greater than 88-feet, 9-inches
Lot Coverage (square-feet)	6,759 square-feet	Less than 30,000 square-feet
Lot Coverage (percent)	2.3%	Less than 10%
Snow Storage	1,623 square-feet	Greater than 1,802 square-feet
Building Height	27-feet, 0-inches	Less than 35-feet
Structure Size	6,414 square-feet	Less than 10,000 square-feet

APPROVAL STANDARDS

MCC 3.7.032 Scenic Route Requirements for Development

Scenic Route Zone

The Commission shall determine whether the proposed development, improvement, or use:

1. **The project preserves and enhances the scenic quality of the street or highway.**

The proposal will maintain the scenic quality of Eastside Drive by minimizing the impacts of existing vegetation, filling in between existing vegetation with native trees, and quality architectural design of the proposed residence.

2. **Is compatible (in terms of setback, bulk, height, design, finish materials, and signing) with its immediate surroundings and the desired visual quality of the scenic route.**

Compatibility with the desired visual quality of the scenic route is provided by the proposed landscaping that will buffer views of the new structures, and the compatible exterior building design, materials, and colors.

3. **Building Clustering** N/A
4. **Landscaping:** The applicant is providing landscaping adjacent to Eastside Drive in conformance with McCall City Code Section 3.7.032(I).

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.
4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: DESIGN Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.
2. **Preserves natural features:** The proposed residence avoids harming natural features.
3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed residence is similar in design and scale to other homes in the area.
2. **Building Design**
 - a. **Materials:** The proposed residence is to use wood, stone, and other materials with a generally natural appearance.
 - b. **Roof:** The proposed residence will utilize asphalt shingles.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades and undulating the facade.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** The proposed residence is sited to minimize the number of trees required to be removed.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.
3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The property will be accessed from Eastside Way.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A

10. **Landscaping And Buffering:** The proposed landscaping is required to meet the standards of McCall City Code.
11. **Snow Storage And Drainage:** Adequate snow storage is required to be identified on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** N/A.
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A
16. **Site Design**
 - a. Preserve natural resources – The plans submitted preserve natural resources.
 - b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
 - c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
 - d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed residence is compatible with classic McCall styles.
2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.

6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** The proposed residence includes porches.
8. **Exterior Doorways:** The proposed residence has an exterior doorway on the longest street facing façade.
9. **Wall Materials:** Exterior wall materials include wood, metal, and stone.
10. **Shop Front Design:** N/A
11. **Wall Colors:** Proposed wall colors are of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall’s Outdoor Lighting Ordinance.
2. **Fences and Walls:** N/A
3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code
5. **Landscaping Plan:** The proposed landscaping is required to be in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native shrubs or grasses.
8. **Plants as Screening:** The site has several existing trees and additional plantings are required to screen the site when viewed from Warren Wagon Road.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage is required to be identified.

11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A
13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** No trees are proposed to be removed.
15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** No historic residences are proposed.
2. **Preserve human scale in residential character:** The proposed addition utilizes architectural detail to minimize building massing and is adequately landscaped.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed residence utilizes natural colors and materials, and is required to be adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project does not provide for community or affordable housing; however, it is not required by code.

6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence nearly maximizes the allowable lot coverage.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.
8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency Comments:

- Central District Health:
See attached letter dated May 15, 2023
- Payette Lakes Recreational Water and Sewer District:
See attached letter dated May 15, 2023

Public Comments:

No public comments received to date.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the June 6, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review and Scenic Route Review application, provided that the following conditions are met:

	Prior to	Condition	Recommended Contact
1.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer
2.		The applicant shall conduct a tree consultation with the McCall City Arborist	City Arborist
3.		The applicant should provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of driveway and uncovered walkway area.	City Planner
4.	The issuance of a certificate of occupancy	The applicant reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 11th day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
WRAY)
RESIDENCE)
)
Design Review,)
Scenic Route Review, and)
)
Application Number:)
DR-23-13, SR-23-04)

**FINDINGS OF FACT, CONCLUSIONS OF LAW,
AND DECISION**

FINDINGS OF FACTS

Applicant: Jared Wray

Representative: Heather Susemihl

Application: An Application for Design Review and Shoreline Environs Review to construct a new single-family home totaling 8,221 square feet, including three levels of living space, and attached 976 square foot garage, and lakefront covered patios and deck.

Address: 1860 Warren Wagon Road

Location: Tax No. 34 and the S ½ of Tax No. 53 in Government Lot 1, situate in Section 5, T18N, R3E, B.M., Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on May 18, 2023.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on May 19, 2023.

Posting: The Notice of Hearing was posted by the applicant on the subject property on May 19, 2023.

Zoning: R4 – Low Density Residential

Property Size: 0.70 acres

Dimensional Standards:

APPROVAL STANDARDS

	Proposed	Required
Front Setback	160-feet, 0-inches	Greater than 25-feet
Rear Setback	61-feet, 0-inches	Greater than 20-feet
Side Yard Setback 1	10-feet, 0-inches	Greater than 9-feet, 9-inches
Side Yard Setback 2	10-feet, 0-inches	Greater than 9-feet, 9-inches
Eave Height 1	19-feet, 9-inches	Less than 20-feet, 0-inches
Eave Height 2	15-feet, 3-inches	Less than 20-feet, 0-inches
Both Side Setbacks must add up to:	20-feet, 0-inches	Greater than 19-feet, 7-inches
Lot Coverage (square-foot)	4,606 square-foot	Less than 6,955 square-foot
Lot Coverage (percent)	14.3%	Less than 21.5%
Snow Storage	957 square-foot	Greater than 1,225 square-foot
Building Height	33-feet, 10-inches	Less than 35-feet
Structure Size	8,151 square-foot	Less than 10,000 square-foot

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.

4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: DESIGN Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.
2. **Preserves natural features:** The proposed residence avoids harming natural features.
3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed residence is similar in design and scale to other homes in the area.
2. **Building Design**
 - a. **Materials:** The proposed residence is to use wood, stone, and other materials with a generally natural appearance.
 - b. **Roof:** The proposed residence will utilize solar panel roofing that mimics the appearance of asphalt shingles.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades and undulating the facade.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** The proposed residence is sited to minimize the number of trees required to be removed.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.
3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The property will be accessed from Warren Wagon Road.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A
10. **Landscaping And Buffering:** The proposed landscaping is required to meet the standards of McCall City Code.
11. **Snow Storage And Drainage:** Adequate snow storage is required to be identified on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** The plans are consistent with McCall City Code Section 3.8.19.
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A

16. Site Design

- a. Preserve natural resources – The plans submitted preserve natural resources.
- b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
- c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
- d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed residence is compatible with classic McCall styles.
2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** The proposed residence includes porches.
8. **Exterior Doorways:** The proposed residence has an exterior doorway on the longest street facing façade.
9. **Wall Materials:** Exterior wall materials include wood, metal, and stone.
10. **Shop Front Design:** N/A
11. **Wall Colors:** Proposed wall colors are of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall’s Outdoor Lighting Ordinance.

2. **Fences and Walls:** N/A
3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code
5. **Landscaping Plan:** The proposed landscaping is required to be in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native shrubs or grasses.
8. **Plants as Screening:** The site has several existing trees and additional plantings are required to screen the site when viewed from Warren Wagon Road.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage is required to be identified.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A
13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** No trees are proposed to be removed.
15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A

18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** No known historic residences exist on the property.
2. **Preserve human scale in residential character:** The proposed utilizes architectural detail to minimize building massing and is adequately landscaped.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed residence utilizes natural colors and materials, and is required to be adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project does not provide for community or affordable housing; however, it is not required by code.
6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence nearly maximizes the allowable lot coverage.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.
8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency

- McCall Public Works:

In an email dated June 5, 2023, the City of McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR23-13** and have the following comments and concerns.

1. Thank you for submitting a draft of a stormwater drainage report. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:
 - a. The predevelopment hydrograph and calculations were not present in the report. Please confirm that this is to show that you are just detaining the entire first flush storm for the post development conditions.
 - b. A Stormwater Application was submitted with the stormwater report. Please note that this property is in the shoreline and requires the responsible party to have a stormwater certificate.
2. The applicant will obtain necessary permits regarding the driveway from the County prior to construction activities commencing.

- Central District Health:

See attached letter dated May 15, 2023

- Payette Lakes Recreational Water and Sewer District:

See attached letter dated May 15, 2023

- McCall Airport Manager:

In an email dated May 17, 2023, the McCall Airport Manager provided the following comments:

IN CONICAL SURFACE. FAA ONLINE CRITERIA TOOL/FORM 7460-1

REQUIRED

Public

- No public comments have been received to date.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the June 6, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review and Shoreline Review application, provided that the following conditions are met:

Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer
2.		The applicant should provide a revised site plan showing a minimum of one (1) square foot of snow storage area for every three (3) square feet of driveway and uncovered walkway area.	City Planner
3.	The issuance of a certificate of occupancy	The applicant reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 11th day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
LONGSON) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
RESIDENCE) **AND DECISION**
)
Design Review and)
Shoreline Review)
)
Application Number:)
DR-23-14, SH-23-05)

FINDINGS OF FACTS

Applicant: Bart Longson

Representative: Jevon Truex

Application: An Application for Design Review and Shoreline Environs Review to construct a new two-story single-family residence totaling structure size of 7,338 square feet including an attached garage.

Address: 2107 Water Lily Lane

Location: Lot 2 of Block 1 of the Cove Replat of the State Subdivision, situate in section 34, T19N, R3E, B.M., Valley County, Idaho.

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on May 18, 2023.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on May 19, 2023.

Posting: The Notice of Hearing was posted by the applicant on the subject property on May 18, 2023.

Zoning: R4 – Low Density Residential

Property Size: 0.64 acres

Dimensional Standards:

APPROVAL STANDARDS

	Proposed	Required
Front Setback	110-feet, 0-inches	Greater than 15-feet
Rear Setback	48-feet, 3-inches	Greater than 20-feet
Side Yard Setback 1	10-feet, 0-inches	Greater than 9-feet, 9-inches
Side Yard Setback 2	10-feet, 0-inches	Greater than 9-feet, 9-inches
Eave Height 1	16-feet, 0-inches	Less than 20-feet, 0-inches
Eave Height 2	12-feet, 6-inches	Less than 20-feet, 0-inches
Both Side Setbacks must add up to:	20-feet, 0-inches	Greater than 19-feet, 7-inches
Lot Coverage (square-foot)	6,291 square-foot	Less than 6,320 square-foot
Lot Coverage (percent)	22.2%	Less than 22.3%
Snow Storage	955 square-foot	Greater than 952 square-foot
Building Height	34-feet, 0-inches	Less than 35-feet
Structure Size	8,101 square-foot	Less than 10,000 square-foot

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.

4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: DESIGN Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.
2. **Preserves natural features:** The proposed residence avoids harming natural features.
3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed residence is similar in design and scale to other homes in the area.
2. **Building Design**
 - a. **Materials:** The proposed residence is to use wood, stone, and other materials with a generally natural appearance.
 - b. **Roof:** The proposed residence will utilize a mix of roofing materials.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades and undulating the facade.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** The proposed residence is sited to minimize the number of trees required to be removed.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.
3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The property will be accessed from Water Lily Lane.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A
10. **Landscaping And Buffering:** The proposed landscaping is required to meet the standards of McCall City Code.
11. **Snow Storage And Drainage:** Adequate snow storage is required to be identified on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** The plans are consistent with McCall City Code Section 3.8.19.
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A
16. **Site Design**

- a. Preserve natural resources – The plans submitted preserve natural resources.
- b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
- c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
- d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed residence is compatible with classic McCall styles.
2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** The proposed residence includes porches.
8. **Exterior Doorways:** The proposed residence has an exterior doorway on the longest street facing façade.
9. **Wall Materials:** Exterior wall materials include wood, metal, and stone.
10. **Shop Front Design:** N/A
11. **Wall Colors:** Proposed wall colors are of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall’s Outdoor Lighting Ordinance.
2. **Fences and Walls:** N/A

3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code
5. **Landscaping Plan:** The proposed landscaping is required to be in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native shrubs or grasses.
8. **Plants as Screening:** The site has several existing trees and additional plantings are proposed.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage is required to be identified.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A
13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** No trees are proposed to be removed.
15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** No known historic residences exist on the property.
2. **Preserve human scale in residential character:** The proposed utilizes architectural detail to minimize building massing and is adequately landscaped.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed residence utilizes natural colors and materials, and is required to be adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project does not provide for community or affordable housing; however, it is not required by code.
6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence nearly maximizes the allowable lot coverage.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.
8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency

- McCall Public Works

In an email dated June 5, 2023, the City of McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for

DR23-14 and have the following comments and concerns.

1. A Preliminary Stormwater Report and stormwater application was submitted with the application; however it does not cover all the required sections of the City's Drainage Management Guidelines (DMGs). It appears that the project will likely be able to comply with the DMGs, subject to the following required submittals:
 - a. Stormwater requirements **over 5,000 square feet but less than 15,000 square feet** of impervious area:
 - i. The filled out and signed stormwater application responsible party will need to provide evidence of a stormwater certificate from the City of McCall or a Responsible Persons Training to the building official.
 - ii. Stormwater drainage report that covers sections A,B,C,D, and F of the Stormwater Management Checklist (begins on page 11 in DMG's). A semi-filled out report was submitted but it does not cover all sections required.
 - iii. Please update your stormwater application to show the applicable sections as shown in my redlines.
 - iv. The chart that was used to identify the rainfall intensity (page 23) needs to be included in your stormwater report/calculations.
 - v. Detention area and design calculations need to be updated to the proper Runoff Coefficient Values found on page 25.
 - vi. Please combine your calculations and drawings into your updated stormwater report as appendices so everything is together.
 2. The grading of the driveway does not meet City standards because it is more than 6% where it abuts the private roadway (McCall City Code 3.8.064.(C).1.) Please adjust your plans accordingly.
 3. Water Lily Lane is a private road and any modifications to the driveway in that right-of-way will need to be approved by the entity that owns and maintains the roadway.
- Central District Health:
See attached letter dated May 15, 2023
 - Payette Lakes Recreational Water and Sewer District:
See attached letter dated May 15, 2023

- Big Payette Lake Water Quality Council:
See attached comment and response letter dated May 13, 2023

Public

- No public comments have been received to date.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the June 6, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review and Shoreline Review application, provided that the following conditions are met:

	Prior to	Condition	Recommended Contact
1.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer
2.	The issuance of a certificate of occupancy	The applicant reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 11th day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
LLOYD) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
RESIDENCE) **AND DECISION**
)
Design Review and)
Shoreline Review)
)
Application Number:)
DR-23-15, SH-23-06)

FINDINGS OF FACTS

Applicant: Brent Lloyd

Representative: Kevin Schalk, Glancy Rockwell & Associates

Application: An Application for Design Review and Shoreline Environs Review to construct a new single-family residence totaling 5,851 square feet of structure size including attached garage and covered patio areas.

Address: 910 Wagon Wheel Road

Location: Lot 141 abd the W 1/3 of Lot 142 of the Amended Payette Lake Cottage Sites, situate in Section 28, T19N, R3E, B.M., Valley County, Idaho

Public Notice: Newspaper: The Notice of Hearing was published in the *Star News* on May 18, 2023.
Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet on May 22, 2023.
Posting: The Notice of Hearing was posted by the applicant on the subject property on May 22, 2023.

Zoning: R4 – Low Density Residential

Property Size: 0.64 acres

Dimensional Standards:

APPROVAL STANDARDS

	Proposed	Required
Front Setback	20-feet, 0-inches	Greater than 20-feet
Rear Setback	10-feet, 0-inches	Greater than 10-feet
Side Yard Setback 1	57-feet, 4-inches	Greater than 15-feet, 0-inches
Side Yard Setback 2	100-feet, 0-inches	Greater than 15-feet, 0-inches
Eave Height 1	24-feet, 0-inches	Less than 35-feet, 0-inches
Eave Height 2	15-feet, 6-inches	Less than 35-feet, 0-inches
Both Side Setbacks must add up to:	157-feet, 4-inches	Greater than 85-feet, 9-inches
Lot Coverage (square-feet)	7,391 square-feet	Less than 7,878 square-feet
Lot Coverage (percent)	19.0%	Less than 20.2%
Snow Storage	87 square-feet	Greater than 918 square-feet
Building Height	30-feet, 0-inches	Less than 35-feet
Structure Size	6,029 square-feet	Less than 10,000 square-feet

MCC 3.16: Design Review

The commission has determined that:

1. The project is in general conformance with the comprehensive plan.
2. The project does not jeopardize the health, safety or welfare of the public.
3. The project conforms to the applicable requirements of the zoning ordinance and subdivision ordinance, adopted by the city of McCall.

4. The project will have no substantial impact on adjacent properties or the community at large.

Please see review of the Design Guidelines below.

MCC 3.3.09: Design Requirements

General Objectives for Residential Design

1. **Support a residential character and is compatible with its surrounding neighborhood:** The structure is residential in character and is compatible with the surrounding neighborhood.
2. **Preserves natural features:** The proposed residence avoids harming natural features.
3. **Promotes active and safe streetscapes:** The proposed residence does little to promote an active or safe streetscape.

Residential Review Standards

1. **Building Scale:** The proposed residence is similar in design and scale to other homes in the area.
2. **Building Design**
 - a. **Materials:** The proposed residence is to use wood, stone, and other materials with a generally natural appearance.
 - b. **Roof:** The proposed residence will utilize a mix of roofing materials.
 - c. **Exterior Color:** Exterior colors are of natural hues.
 - d. **Blank Walls:** Blank walls are avoided by including glass on all facades and undulating the facade.
 - e. **Snow Loads:** Snow loads will be verified as part of the building permit process.

MCC 3.8 General Development Standards

1. **Tree Removal:** The proposed residence is sited to minimize the number of trees required to be removed.
2. **Fire Hazard Mitigation:** The proposed landscaping is consistent with the fire hazard mitigation standards of McCall City Code Section 3.8.04.
3. **Off Street Parking:** Adequate parking has been provided for the residential use.
4. **Bicycle Parking:** N/A
5. **Driveways:** The property will be accessed from Wagon Wheel Road.
6. **Fencing And Walls:** N/A
7. **Accessory Use, Buildings And Structures:** N/A
8. **Accessory Dwelling Units:** N/A
9. **Corner Vision:** N/A
10. **Landscaping And Buffering:** The proposed landscaping is required to meet the standards of McCall City Code.
11. **Snow Storage And Drainage:** Adequate snow storage is required to be identified on site. Final engineering approval of the grading and drainage plan will be required prior to issuance of a building permit.
12. **Main Entrances In R4 Through R16 Zones:** The plans are consistent with McCall City Code Section 3.8.19.
13. **Special Standards For Garages:** Due to the size of the lot, the residence is exempt from garage design standards.
14. **Local Housing Density Bonus Program:** N/A
15. **Seasonal Dwelling Units:** N/A
16. **Site Design**

- a. Preserve natural resources – The plans submitted preserve natural resources.
- b. Reduce land and water modifications – a grading and drainage plan will be required to receive final approval by the City Engineer prior to issuance of a building permit. The plan shall demonstrate that the project can meet the City’s drainage management guidelines.
- c. Location to preserve prominent skylines - the location will not impact any significant views of skylines
- d. Underground utilities – all utilities will be installed underground

Architecture

1. **Enhance McCall Classic Styles:** The proposed residence is compatible with classic McCall styles.
2. **Minimize Scale:** The building design uses architectural details to minimize its apparent scale.
3. **Building Additions:** N/A
4. **Roof Lines:** The roof line is varied to minimize the scale.
5. **Mechanical Equipment:** No exterior mechanical equipment is proposed.
6. **Multi-Unit Structures:** N/A
7. **Balconies and Porches:** The proposed residence includes porches.
8. **Exterior Doorways:** The proposed residence has an exterior doorway on the longest street facing façade.
9. **Wall Materials:** Exterior wall materials include wood, metal, and stone.
10. **Shop Front Design:** N/A
11. **Wall Colors:** Proposed wall colors are of natural hues.

Landscaping and Site Design

1. **Light Fixtures:** Light fixtures are in compliance with McCall’s Outdoor Lighting Ordinance.
2. **Fences and Walls:** N/A

3. **Retaining Walls:** N/A
4. **Paving and Streetscapes:** The proposed driveway is in conformance with McCall City Code
5. **Landscaping Plan:** The proposed landscaping is required to be in conformance with McCall City Code.
6. **Site Conditions for Landscaping:** N/A
7. **Lawn Area:** All areas disturbed with construction shall be re-seeded with native shrubs or grasses.
8. **Plants as Screening:** The site has several existing trees and additional plantings are proposed.
9. **Utility Installations:** All new utilities are required to be undergrounded.
10. **Snow Storage:** Adequate snow storage is required to be identified.
11. **Screen Parking Lots:** N/A
12. **Irrigation System Required:** N/A
13. **Retain Existing Vegetation:** Existing vegetation will be retained as much as possible, all disturbed areas will be reseeded with native seed prior to issuance of a certificate of occupancy.
14. **Preserve Existing Trees:** No trees are proposed to be removed.
15. **Grading and Drainage:** Final approval of a grading and drainage plan will be required prior to issuance of a building permit.
16. **Maintenance:** Landscaping maintenance is the responsibility of the property owner.
17. **Sidewalks:** N/A
18. **Bike Paths:** N/A

Residential Districts

1. **Preserve historic residences:** No known historic residences exist on the property.
2. **Preserve human scale in residential character:** The proposed utilizes architectural detail to minimize building massing and is adequately landscaped.
3. **Preserve compatibility with surrounding neighborhoods:** The structure is compatible with the surrounding neighborhood.
4. **Preserve natural features of the immediate landscape and environment:** The proposed residence utilizes natural colors and materials, and is required to be adequately landscaped.
5. **Provide for community, or affordable, housing as needed:** The project does not provide for community or affordable housing; however, it is not required by code.
6. **Provide open spaces to enhance and maintain the rural character:** The proposed residence nearly maximizes the allowable lot coverage.
7. **Provide living and moving space for native animals:** The proposed residence meets setback requirements, and therefore provides more living and moving space for animals than is required.
8. **Promote active and safe streetscapes in residential neighborhoods that are conducive to walking and biking:** The proposed residence does not promote an active or safe streetscape.

DEPARTMENT/AGENCY COMMENTS

Agency

- McCall Public Works:

In an email dated June 5, 2023, the City of McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **DR23-15** and have the following comments and concerns.

1. Thank you for submitting a stormwater narrative to explain how stormwater runoff will be handled. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:
 - a. A Stormwater Application was submitted with the stormwater report unsigned. Please note that this property is in the shoreline and requires the responsible party to have a stormwater certificate and will need to be signed.
 - b. Stormwater drainage report that covers sections A,B,C,D, and F of the Stormwater Management Checklist (begins on page 11 in DMG's)
 - c. A site/grading plan showing temporary and permanent BMP's
 - d. Detention area and design calculations verifying adequate are for the 1st flush storm (2yr-design storm)

Supporting links for Stormwater items above:

- a. Stormwater Application: <https://evogov.s3.amazonaws.com/141/media/115535.pdf>
- b. Drainage Management Guidelines: <https://evogov.s3.amazonaws.com/141/media/115536.pdf>
- c. Stormwater Design Criteria Resolution 16-10: <https://evogov.s3.amazonaws.com/141/media/115537.pdf>
- d. DEQ BMP Catalog: <https://www2.deq.idaho.gov/admin/LEIA/api/document/download/14968>

2. The applicant will obtain necessary permits regarding the driveway from the County prior to construction activities commencing.

- Central District Health:

See attached letter dated May 15, 2023

- Payette Lakes Recreational Water and Sewer District:

See attached letter dated May 15, 2023

- Big Payette Lake Water Quality Council:

In an email dated May 11, 2023, the Big Payette Lake Water Quality Council provided the following comment:

I am pleased to see that there is little disturbance of the property from the beach up to the patio/house. Kudos for maintaining native plants and existing vegetation. As always, a large construction site like this needs constant due diligence in assuring that erosion/stormwater does not enter Payette Lake.

Public

- No public comments have been received to date.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Design Review applications, pursuant to Title 3, Chapter 16 of McCall City Code.
2. Adequate notice of the June 6, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.
3. Upon compliance with the conditions noted below, the application meets the Design Review Standards set forth in Title 3, Chapter 16 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Design Review and Shoreline Review application, provided that the following conditions are met:

	Prior to	Condition	Recommended Contact
1.	The issuance of a building permit	The applicant shall receive final engineering approval	Staff Engineer
2.		The applicant shall provide a revised site plan showing one (1) square foot of snow	City Planner

		storage area for every three (3) square feet of driveway or uncovered pathway area.	
3.	The issuance of a certificate of occupancy	The applicant reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall Code Section 3.16.08, design review approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Findings of Fact **adopted** this 11th day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

Brian Parker, City Planner
City of McCall

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
SIMMONS STREET) **FINDINGS OF FACT, CONCLUSIONS OF LAW,**
VACATION) **AND DECISION**
)
Application Number:)
VAC-23-01)

FINDINGS OF FACTS

Applicant: Steve Callan

Representative(s): Richard Wilmot, Chrysalis Architecture

Application: A petition for vacation of the public right-of-way of Simmons Street along the frontages of Lots 1-10, Block 2, Riverside Subdivision to allow for the construction of a private street built to City standards.

Location: A Westerly Portion of the Right-Of-Way of the Riverside Subdivision, situate in the W ½ of the NW ¼ of the SW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho

Public Notices: Newspaper: The Notice of Hearing was published in the *Star News* on May 18, 2023.

Mailing: The Notice of Hearing was mailed by the applicant to property owners within 300 feet of the subject properties on May 22, 2023.

Posting: The Notice of Hearing was posted by the applicant on the subject property on May 22, 2023.

Zoning Districts: I - Industrial

FINDINGS OF FACT

The McCall Area Planning and Zoning Commission hereby finds that vacation of the public right of way known as Simmons Street is in the public interest as it provides legal access to platted and developed lots that would otherwise have no legal access.

DEPARTMENT/AGENCY COMMENTS

- Valley County Cartography:

In an email dated May 12, 2023, the Valley County Assistant Planner provided the following comment:

“If VAC 23-01 Simmons ST ROW is approved, please let me know so I can make necessary updates to the road layer on Valley County's GIS maps.”

STATEMENT OF LEGAL AUTHORITY AND CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of application for Vacation of a Right-of-Way or Easement, authorized by Section 50-1325, Idaho Code, pursuant to Title 9, Chapter 9 of McCall City Code.
2. Adequate notice of the June 6, 2023 public hearing was provided, pursuant to Section 67-6512, Idaho Code and Title 3, Chapter 15 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **recommends** this Vacation of Right-of Way application for **approval** by the McCall City Council, provided that the following conditions are met:

	Prior to	Condition	Recommended Contact
1.	Execution of the Vacation	The applicant shall receive final engineering approval	Staff Engineer

2.		The applicant shall provide a maintenance plan for the proposed private street to be reviewed and approved by City Staff.	City Planner
3.		The applicant shall provide an easement agreement stating that pedestrian and bicycle access is allowed upon and through the private street.	City Planner
4.		The applicant shall receive approval from the Valley County Surveyor	Valley County Surveyor
5.	Any site work or construction within the proposed easement area	The vacation shall be executed	City Planner

Other

1. A full set of as built (record) drawings of all improvements intended for public use and maintenance, including, but not limited to, water and sewer lines, and including also private and public streets, shall be furnished to the city for the permanent records of the city within sixty (60) days of completion of the construction.

Findings of Fact **adopted** this 11th day of JULY 2023.

 Robert Lyons, Chair
 McCall Area Planning and Zoning Commission

Attest:

 Brian Parker, City Planner
 City of McCall

McCall Area Planning and Zoning Commission
Staff Report
ROS-22-15

Lot Split

208 Thula Street

October 4, 2022

Applicant: Michael McLean
Representative: None
Application: Record of Survey
Zoning District: R4 - Low Density Residential
Jurisdictional Area: City Limits

Description

An application for a Record of Survey for a lot split to allow for future development of the northern section of the existing property. The existing lot of 0.51 acres will be split to result in 2 lots, each of 0.257 acres, respectively.

Staff Analysis

Project Information

Zoning District: R4 - Low Density Residential

Comprehensive Plan Designation: Low Density Residential

Project Acreage: 0.51 acres

Proposed Use: Residential - No change

Code Sections of Interest

- McCall City Code Section 9.1.05(B)(1): Eligibility for Record of Survey Procedure:

To be eligible for processing under subsection (B)2 of this section, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out in this subsection (B)1:

(a) No lot or parcel which would be created by the plat or survey is less than forty (40) acres in extent; or

(b) A single, existing lot of record is being divided into not more than four (4) lots other than as part of an evident marketing program of greater extent, each lot or parcel within the proposed plat or survey clearly meets the lot size regulations of the applicable zone, and the McCall area comprehensive plan, and each lot or parcel within the proposed survey either

meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than is the single, existing lot of record; or

(c) Two (2) or more lots of record are being combined; or

(d) Two (2) or more lots of record are shown, and lots are being combined and/or divided in such fashion that the lot sizes would be proper were the land the subject of a formal subdivision of no greater extent, and each lot or parcel within the proposed survey either meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than are the lots of record; or

(e) The proposed plat or survey implements a judicial decision in a probate, partition, or quiet title action, which decision decrees the setting off of individual lots or parcels to individual parties to or beneficiaries of the action, and every lot or parcel within the proposed plat or survey meets applicable zoning and the applicable comprehensive plan; provided, that the administrator need not recognize for these purposes a partition or quiet title action to which the city was not made a party and which the administrator concludes in the administrator's discretion was maintained to evade these regulations; or

(f) The proposed plat or survey is coextensive with and only further defines (including combining) one or more existing, contiguous lots of record, and each such lot of record was both of record and in several ownerships from any contiguous other lot of record on March 16, 2006; or

(g) The proposal is an amended plat which amends an existing final plat of record so as to make one or more minor adjustments in lot boundaries reflecting final construction of roads or amenities, the number and configuration of lots is unchanged, and there are no significant land use planning considerations not addressed as of the time of such final plat; or

(h) Except that no lot may be redivided to undo a previous combination of lots except by application in accordance with chapter 2 of this title; or

(i) A lot line adjustment between two (2) or more existing adjacent parcels, provided:

(1) No additional parcels or building sites have been created, and

(2) The adjustment does not create the potential to further divide either of the two (2) parcels into more parcels than would have been otherwise possible, and

(3) There are no resulting violations of this title or title III of this code.

(j) Land conveyed to or from a public utility, or for land conveyed to a subsidiary of a public utility for conveyance to such a public utility for right of way, unless a showing is made in individual cases, upon substantial evidence, that public policy necessitates a parcel map.

- McCall City Code Section 9.1.05(B)(2)(d): Application Qualifies:

If the administrator determines that the application qualifies for record of survey procedure, the administrator may thereafter waive the application of some or all provisions of this chapter. However, the following three (3) conditions cannot be waived:

(1) Name, and evidence of ownership; and

(2) The preparation and recording of a record of survey pursuant to Idaho Code; and

(3) The preparation, execution, and securing of the performance of an agreement in form and scope similar to a development agreement, which addresses necessary improvements.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:

McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.

- Deep Dive – Future Land Use Designations – Low Density Residential:

This land use designation is intended to provide for the development of low-density single-family residential neighborhoods. These neighborhoods consist of larger home sites.

Implementing Zoning Districts: R-4

Staff Discussion

- The intent of this Record of Survey application is to split property into two (2) individual parcels.
- The proposed western parcel is proposed to be accessed from a twelve foot (12') driveway easement running along the northern property boundary of the proposed eastern parcel. A five foot (5') snow storage easement is identified within the two adjacent parcels to the north of the proposed driveway easement. Prior to recordation, the applicant should provide a copy of the recorded easement agreement for the five foot (5') snow storage easement along the proposed driveway.

Comments

Agency –

McCall Public Works

In an email dated September 29, 2022, the City of McCall Staff Engineer had the following comments:

The Public Works Department has reviewed the documents submitted for review for **ROS22-15** and have the following comments and concerns:

1. Label the full width of Thula St and Floyd St right-of-way.
2. The proposed driveway easement needs to be altered. There is an existing driveway adjacent to where this driveway access is proposed, which would not meet the minimum driveway spacing of 10-feet between driveways and 5-feet from property lines identified in [MCC3.8.064\(C\).3](#).
3. The proposed driveway easement looks like it will be too small to accommodate a driveway and snow removal for that driveway to meet City Standards of a minimum of 12' width.
4. Where will water and sewer to the back lot come from? It looks like the thought is to have them follow the proposed driveway easement, however it does not look like a suitable place for a water meter exists with this proposed layout. The water meter will need to be a minimum of 4 feet from all paved surfaces and other obstructions.
5. On the .pdf, please place the signature for the Clerk under the statement for the Clerk.
6. Once the final ROS draft is finalized, two digital CAD files, prepared in accordance with the City's digital data submission standards (DDSS) shall be provided. The complete DDSS guidance document can be found here: <https://evogov.s3.amazonaws.com/141/media/115532.pdf>

The comments above will need to be addressed prior to Final Engineering Approval and prior to the City signing the Record of Survey. Please let me know if you have any questions or concerns.

Central District Health (CDH)

See attached letter, dated September 14, 2022.

Public –

No public comment has been received.

Staff Recommendation

Staff recommends approval of this application with the Conditions of Approval listed below.

Conditions of Approval

1. The applicant shall record the survey with the following note(s) on the face of the plat:
This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.
2. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
3. Prior to recordation, the applicant shall receive final engineering approval.
4. Prior to recordation, the applicant shall provide a copy of the recorded easement agreement for the five foot (5') snow storage easement along the proposed driveway.
5. The applicant shall provide the City with a .PDF copy of the recorded survey and recorded legal description immediately upon recordation.
6. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

Prepared By:



Brian Parker
City Planner

McCALL AREA PLANNING AND ZONING COMMISSION

IN RE:)
)
McLEAN LOT LINE)
ADJUSTMENT)
Record of Survey)
)
Application Number:)
ROS-22-15)
)

**FINDINGS OF FACT, CONCLUSIONS OF LAW,
AND DECISION**

FINDINGS OF FACTS

- Applicant:** Michael McLean
- Application:** An application for a Record of Survey for a lot line adjustment between two existing parcels. The existing lots of 0.51 acres and 0.422 acres will be modified to result in 2 lots of 0.257 and 0.679 acres, respectively.
- Location:** McCall Acreage Tax No. 117, situate in the SE ¼ of the NW ¼ of Section 16, T18N, R3E, B.M., City of McCall, Idaho.
- Property Address:** 208 Thula Street, McCall
- Public Notices:** This application was placed on the McCall Area Planning and Zoning Commission’s consent agenda, thereby waiving public noticing requirements, pursuant to McCall Area of Impact Code section 9.1.05(B)(2).
- Zoning:** R4 – Low Density Residential
- Property Size:** 0.51 acres
- Setbacks:** Setbacks will be determined at the time of issuance of a building permit.

APPROVAL STANDARDS

Title 9, Chapter 1

Record of Survey

To be eligible for processing under the Record of Survey Procedure, an application for approval of a plat or survey must be signed by all owners and determined by the administrator to meet one or more of the standards set out below:

A single, existing lot of record is being divided into not more than four (4) lots other than as part of an evident marketing program of greater extent, each lot or parcel within the proposed plat or survey clearly meets the lot size regulations of the applicable zone, and the McCall area comprehensive plan, and each lot or parcel within the proposed survey either meets lot street frontage, width and depth requirements of the applicable zone or is no less conforming in each such regard than is the single, existing lot of record.

The proposed parcels meet the dimensional requirements of the R4 – Low Density Residential zoning district with respect to width, and depth.

DEPARTMENT/AGENCY COMMENTS

McCall Public Works

In an email dated June 23, 2023, the City of McCall Staff Engineer granted final engineering approval.

Central District Health (CDH)

See attached letter, dated September 14, 2022.

Public –

No public comment has been received.

CONCLUSIONS OF LAW

1. The City of McCall has provided for the processing of Record of Survey applications, pursuant to Title 9, Chapter 1 of McCall City Code.
2. The proposed project is eligible for the Record of Survey process as a lot split.
3. The proposed project meets the dimensional standards for lots in the R4 zone, per Title 3, Chapter 3, McCall City Code.
4. Upon compliance with the conditions noted below, the application meets the Record of Survey Procedure requirements set forth in Title 9, Chapter 1 of McCall City Code.

DECISION

THEREFORE, the McCall Area Planning and Zoning Commission hereby **approves** this Record of Survey application, provided that the following conditions are met:

1. The applicant shall record the survey with the following note(s) on the face of the plat:

This record of survey has been reviewed and approved by the City of McCall with respect to its compliance with the Subdivision and Development Ordinance and exemption from

formal platting; an individual lot shown on this record of survey shall be considered a single lot for purposes of City ordinances. If this record of survey combines lots shown on a plat or survey of record, the separate sale of such former separate lots will constitute an illegal subdivision under the McCall City Code.

2. Prior to recordation, the applicant shall submit digital files of the Record of Survey in accordance with the McCall Digital Data Submission Standards.
3. The applicant shall provide the City with a .PDF copy of the recorded survey and recorded legal description immediately upon recordation.
4. Pursuant to McCall City Code (MCC 9.1.05.B.2.g), this approval shall become null and void if the final plat or survey is not filed with the county recorder within eighteen (18) months of the date of such approval.

Findings of Fact **adopted** this 11th day of JULY, 2023.

Robert Lyons, Chair
McCall Area Planning and Zoning Commission

Attest:

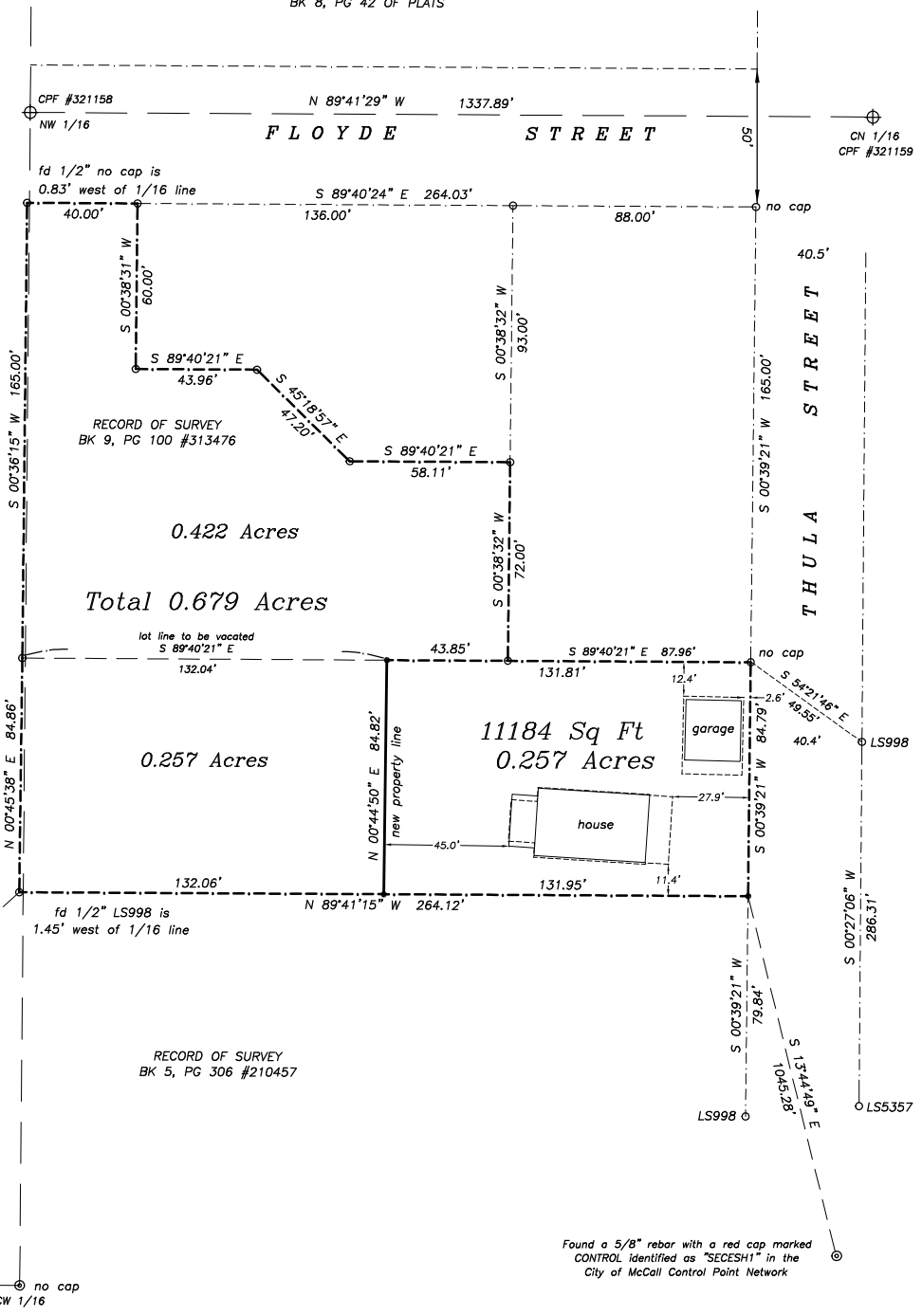
Brian Parker, City Planner
City of McCall

This Record of Survey has been reviewed and approved by the City of McCall with respect to its compliance with the Zoning Ordinance and exemption from formal platting; an individual lot shown on this Record of Survey shall be considered a single lot for purposes of City Ordinances. If this record of Survey combines lots shown on a plat or survey of record, separate sale of such separate lots will constitute an illegal subdivision under the McCall City Code.

Accepted and approved this _____ day of _____, 20____ by the City of McCall.

McCall City Clerk

COUNTRY CRAFTSMAN SUBDIVISION
BK 8, PG 42 OF PLATS

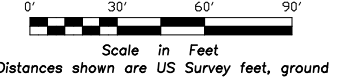


SURVEY NARRATIVE:
This survey was done to divide an existing parcel of land and combine a portion with another parcel of record through the City of McCall Record of Survey process. Record monuments were found and accepted. Reference surveys are shown on the drawing.

I, Joel W. Droulard, a Registered Land Surveyor, do hereby certify that this plat was prepared from notes taken during an actual survey made by me in August of 2022, and that it correctly represents the points, courses and distances as recorded in said field notes.



- LEGEND**
- Set 1/2 inch dia. rebar w/plastic cap
 - ⊙ Found 5/8 inch dia. rebar
 - Found 1/2 inch dia. rebar
 - ⊕ Found brass cap
 - ⊕ Found aluminum cap
- Bearings based on State Plane Grid



Found 3 1/2 inch brass disc identified as "McCall/W015" in the City of McCall Control Point Network

Found a 5/8" rebar with a red cap marked CONTROL identified as "SECESH1" in the City of McCall Control Point Network

RECORD OF SURVEY 22-15

situate in the SE 1/4 of the NW 1/4
Section 16, T. 18 N., R. 3 E., B.M.,
City of McCall, Valley County, Idaho
for
MICHAEL D. McLEAN

JDROULARD@OUTLOOK.COM 208-630-3423 MAY 2023 1803E16

From: [Morgan Stroud](#)
To: [Joel Droulard](#)
Cc: [Brian Parker](#); [Meredith Todd](#)
Subject: ROS 22-15 - 208 Thula St - Final Engineering Approval
Date: Friday, June 23, 2023 4:17:06 PM
Attachments: [image001.png](#)

The City's Public Works Department and GIS Analyst have reviewed the digital file submittals for **ROS22-15** and found that they and the pdf provided, conform to the City's submittal guidelines. Please provide the original, full-size maps to BessieJo Wagner, City Clerk, for signature prior to recording.

This email will act as the City's Final Engineering Approval. Please let me know if you have any questions or concerns.

Thank you,



Morgan Stroud, E.I.T.

Staff Engineer

(D) 208.634.3458

(C) 208.315.2299

www.mccall.id.us/engineering



City of McCall

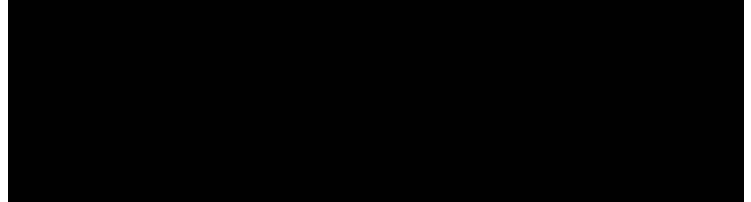
Design Review Application

Date: 12/23/2022

Applicant / Owner

Applicant Name: Ryan Johnson
 Address:
 City, State, Zip:
 Phone:
 Email:

Owner of Ryan Johnson
 Record Name:



Owner of
 Record 2:
 Address:
 City:
 State:
 Zip:
 Phone:
 Email:
 Invoice Email:

Property

Site Address: 120 E Lake ST
 Legal Desc.: lots 12&13 block 1
 Zoning District: R16

Area: City Limits
 Sewer: Payette Lakes Recreational
 Water and Sewer
 Square Footage: 6230

Contractor

Contact Name: Eric Anderson
 Business Name:
 McCall License #:
 Mailing Address:

Email: eric@alcarchitecture.com
 Phone: 208.514.8214
 Idaho #:

Annexation Information

Annex Request:
 Adjoining Land Use:
 Parcel Split:
 Parcel Adjoin:

Valley County:
 Conditional Use:
 Project Type: Residential
 Water: City Water
 Neighbor Meeting:

Description: New 4,500 sf home on vacant lot. New Residence will include 3 stories plus a basement and a 2 car tandem garage. The 1,374 sf basement has 3 bedrooms, 2 bathrooms, a living room, and a kitchen. The 1,455 sf main floor has a bedroom, kitchen, living room, dining room, laundry closet, bathroom, and a mudroom. The 1,346 second floor has 2 patios, 2 bedrooms, 2 bathrooms, and a powder room. The 280 sf loft has ladder access to two beds.

Companion Applications

- | | | | |
|--------------------------------------|-------------------------------------|-----------------------------------|--------------------------|
| Record of Survey: | <input type="checkbox"/> | Subdivision (Final Plat): | <input type="checkbox"/> |
| Design Review: | <input checked="" type="checkbox"/> | Subdivision Minor Plat Amendment: | <input type="checkbox"/> |
| Scenic Route View: | <input checked="" type="checkbox"/> | Variance: | <input type="checkbox"/> |
| Shoreline and River Environs Review: | <input type="checkbox"/> | Rezone/Future Land/Comprehensive: | <input type="checkbox"/> |
| Conditional Use: | <input type="checkbox"/> | Zoning Code Amendment: | <input type="checkbox"/> |
| Development Agreement: | <input type="checkbox"/> | Annexation: | <input type="checkbox"/> |
| Planned Unit Develop (Prelim Plat): | <input type="checkbox"/> | Vacation: | <input type="checkbox"/> |
| Planned Unit Develop (Final Plat): | <input type="checkbox"/> | Land Use: | <input type="checkbox"/> |
| Subdivision (Prelim Plat): | <input type="checkbox"/> | | |

Details

- | | | | |
|---------------------|------|---------------------|--|
| Existing Cover: | 0 | Res Parcels: | |
| Proposed Cover: | 40 | Comm Parcels: | |
| Open Space Sq.Ft.: | 4202 | Engineer Name: | |
| # of Parking: | 2 | Engineer Email: | |
| Max Grade %: | 9 | Engineer Phone: | |
| Average Grade %: | 3 | Pre-App Date: | |
| Total Acreage: | 0 | Condominiums: | |
| Zoned Density: | | Townhomes: | |
| Proposed Density: | | PUD Name: | |
| Total Exist Lot: | | Architect Name: | |
| Total Proposed Lot: | | Architect Email: | |
| Min Lot Frontage: | | Architect Phone: | |
| Min Lot Size: | | Proposed Uses: | |
| Surveyor Name: | | Scenic Frontage: | |
| Surveyor Email: | | # of New Trees: | |
| Surveyor Phone: | | # of New Shrubs: | |
| Subdivision Name: | | Floodplain: | |
| Existing Parcels: | | Shoreline Frontage: | |
| Proposed Parcels: | | High Water Mark: | |
| New Construction | 2028 | | |
| Sq Ft: | | | |

Sign

- Proposed color palette:
 Total signage area existing:
 Total signage area proposed:
 Length of street facing wall in linear feet:
 Length of property frontage in linear feet:
 If multiple frontages, please add lengths from street 2:
 Sign Company:
 Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

[Redacted Signature]

12/23/2022

Date

DOJO LLC

120 E. LAKE ST. MCCALL, IDAHO

ABBREVIATIONS:

AB	ANCHOR BOLT
A/C	AIR CONDITIONING
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BOB	BOTTOM OF BEAM
BRG	BEARING
BTWN	BETWEEN
CL	CENTERLINE
CANT	CANTILEVER
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CO	CASED OPENING
COL	COLUMN
CONC	CONCRETE
CONN	CONNECTION/CONNECTOR
CONT	CONTINUE/CONTINUOUS
COV'D	COVERED
DF	DOUGLAS FIR
DBL	DOUBLE
EA	EACH
ELEV	ELEVATION
EXIST	EXISTING
EXP	EXPANSION
FDN	FOUNDATION
FIN	FINISHED
FLR	FLOOR
FTG	FOOTING
FUR	FURNACE
FX	FIXED
GLB	GLULAM BEAM
HDR	HEADER
HORIZ	HORIZONTAL
LSL	LAMINATED STRAND LUMBER
LVL	LAMINATED VENEER LUMBER
KING	KING STUD
MIN	MINIMUM
OC	ON CENTER
OSB	ORIENTED STRAND BOARD
PAR	PARALLEL
PE	PRE-ENGINEERED
PED	PEDESTAL
PERP	PERPENDICULAR
PSL	PARALLEL STRAND LUMBER
PT	PRESSURE TREATED
REF	REFRIGERATOR
SL	SLIDING
SH	SINGLE HUNG
STD	STANDARD
T&G	TONGUE & GROOVE
TO	TOP OF
TOB	TOP OF BEAM
TOF	TOP OF FOUNDATION
TOP	TOP OF PIER
TOW	TOP OF WINDOW
TRANS	TRANSOM
TRIM	TRIMMER
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VERT	VERTICAL
W/	WITH
W/H	WATER HEATER
WS	WATER SOFTENER
W/O	WITHOUT



VICINITY MAP
N.T.S.

LOT COVERAGE/FOOTPRINT CALCULATION

HOUSE, GARAGE & COVERED SPACES:
2,374 SQ FT

UNCOVERED PATIOS:
0 SQ FT

DRIVEWAY & WALKWAYS:
733 SQ FT x 0.35 = 256.55 SQ FT

TOTAL: 2,374 + 256.55 = 2,630.55 SQ FT
LOT SIZE: 6,230 SQ FT

42.2% LOT COVERAGE

PRESCRIPTIVE ENERGY COMPLIANCE:

2018 International Energy Conservation Code (IECC)

CLIMATE ZONE: 5
WINDOW U-FACTOR: .35
WINDOW SHGC: .32
CEILING R-VALUE: 38
WOOD WALL R-VALUE: 21
FLOOR R-VALUE: 30
CRAWL SPACE WALL R-VALUE: 19

MCCALL DESIGN CRITERIA:

Codes: IRC 2020, IECC 2020, IMC 2018, ISPC 2017, NEC 2017

FROST DEPTH: 24"
SEISMIC ZONE: D
CLIMATE ZONE: 5
BASIC WIND SPEED: 100 MPH
SOIL BEARING CAPACITY: 1500 PSF
GROUND SNOW LOAD: 150 PSF

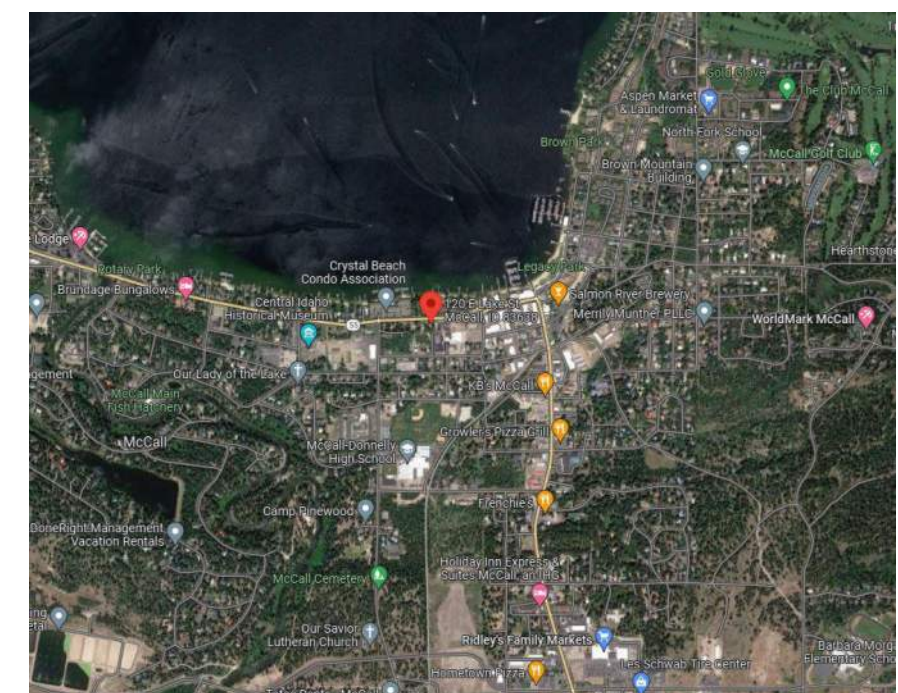
ROOF LOADS: LIVE LOAD 20 PSF
DEAD LOAD 17 PSF
SNOW LOAD 25 PSF

FLOOR LOADS: LIVE LOAD 40 PSF
DEAD LOAD 12 PSF

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS THAT ARE REQUIRED BEFORE AND DURING THE CONSTRUCTION PROCESS PRIOR TO THE COMMENCEMENT OF ANY WORK, AND SHALL BE REQUIRED TO CONTACT THE PROPER AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL CAREFULLY READ, STUDY, AND UNDERSTAND ALL PLANS AND SPECIFICATIONS FOR TRADES. COORDINATION BETWEEN TRADES WILL BE NECESSARY AND THE RESPONSIBILITY OF THE CONTRACTOR. ANY QUESTIONS THAT ARISE SHALL BE CLARIFIED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
3. CONTRACTOR WILL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS, ETC., AT THE SITE AND WILL COORDINATE WORK PERFORMED BY ALL TRADES.
4. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONAL DISCREPANCIES ARE TO BE CLARIFIED WITH THE ARCHITECT BEFORE PROCEEDING WITH CONSTRUCTION.
5. CONTRACTOR WILL NOTIFY ARCHITECT / ENGINEER OF ANY DISCREPANCIES, OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS BEFORE PROCEEDING WITH ANY WORK INVOLVED. IN ALL CASES, UNLESS OTHERWISE DIRECTED, THE MOST STRINGENT REQUIREMENTS WILL GOVERN.
6. THE ARCHITECT'S APPROVAL MUST BE OBTAINED FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS, INCLUDING BUT NOT LIMITED TO CHANGES IN DIMENSIONS, DESIGN, MATERIALS, PRODUCTS, AND FINISHES. IN NO CASE MAY THE CONTRACTOR MAKE THESE CHANGES WITHOUT THE APPROVAL OF THE ARCHITECT.
7. ALL CONSTRUCTION SHALL CONFORM TO AND STRICTLY COMPLY WITH ALL APPLICABLE CODES INCLUDING BUT NOT LIMITED TO THE LATEST APPLICABLE VERSION OF THE INTERNATIONAL RESIDENTIAL CODE, AND ALL AMENDMENTS ENFORCED BY THE AUTHORITIES HAVING JURISDICTION.
8. PROVIDE A CONTINUOUS BEAD OF ELASTOMERIC SEALANT OR APPROPRIATE CAULKING MATERIAL AT ALL BETWEEN SIMILAR AND DISSIMILAR MATERIALS.
9. ALL DIMENSIONS ARE TO FACE OF STUD (FOS) OR TO FACE OF FOUNDATION WALL (FOFNDN) OR TO FACE OF FINISH (FOF), UNLESS NOTED OTHERWISE.
10. ALL WOOD IN CONTACT WITH CONCRETE, SHALL BE TREATED, ALL WOOD AT GRADE OR BELOW GRADE SHALL BE TREATED.
11. VISITS TO THE JOB SITE BY THE ARCHITECT OR HIS CONSULTANTS DO NOT CONSTITUTE APPROVAL OF THE WORK PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS. ANY SUCH VISITS ARE SOLELY FOR THE PURPOSE OF OBSERVING THE WORK BEING PERFORMED.
12. THE CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR THE COORDINATION OF WORK AND FOR THE WORK PERFORMED BY THE SUBCONTRACTORS.
13. THE CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUE PRIOR TO COMMENCING CONSTRUCTION.
14. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
15. ASSUME MINIMUM SOLID BEARING VALUE OF 1,500 PSF, SANDY LOAM AND CLAY, OTHER CONDITIONS MAY REQUIRE SPECIAL PROVISIONS IN FOUNDATION DESIGN AND CONSTRUCTION. CONTRACTOR TO VERIFY AS REQUIRED PRIOR TO CONSTRUCTION.
16. ALL CONCRETE STRENGTH TO BE MINIMUM 4,500 P.S.I.
17. FOUNDATION PERIMETER TO BE INSULATED WITH MINIMUM R-19 INSULATION TO TOP OF FOOTING.
18. MINIMUM CLEARANCE FROM FLOOR JOISTS TO EARTH BELOW TO BE 1'-6".
19. ALL CONTRACTORS ARE TO CLEAN AND INSPECT THEIR WORK PRIOR TO LEAVING PROJECT.

VICINITY MAP



PROJECT INFORMATION

ADDRESS :	120 E LAKE ST. MCCALL ID. 83638
JURISDICTION :	CITY OF MCCALL
OCCUPANCY GROUP :	RESIDENTIAL
CONSTRUCTION TYPE :	TYPE V
ASSESSORS PARCEL NUMBER :	RPM0329001013A
ZONING :	R-16
SITE AREA:	0.20 ACRES 6,230 SF
BUILDING AREA:	2,028 SF
MAX BUILDING HEIGHT :	35'-0"
STORIES :	3 STORIES
HEIGHT:	34' - 0"
SUBDIVISION:	WILLIAMS MAYFIELD ADDITION
LEGAL DESCRIPTION:	LOTS 12&13 BLK 1
LOT FRONTAGE REQUIRED:	25'
LOT FRONTAGE ACTUAL:	32' - 1"
MAX LOT COVERAGE:	40%
BUILDING FOOTPRINT:	2,028 SF
DECK, PATIO, & WALKWAY:	302 SF X .5 = 151 SF
DRIVEWAY+PARKING:	901 SF X .35 = 315.35 SF
TOTAL LOT COVERAGE:	2,494 SF / 6,230 SF = 40%
SETBACKS:	
FRONT:	20'
REAR:	10'
INTERIOR SIDE:	5'

SHEET INDEX

G1.1	COVER SHEET
G1.2	EXISTING SITE PHOTOS
G1.3	EXTERIOR FINISHES
G1.4	STRUCTURAL FINISHES
G1.5	VISUALIZATIONS
G1.6	VISUALIZATIONS
SP AS1.00	ARCHITECTURAL SITE PLAN
SP AS1.2	EXISTING GRADING PLAN
SP AS1.3	PROPOSED GRADING PLAN
SP AS1.4	DRAINAGE & LANDSCAPE PLAN
A1.1	FIRST FLOOR PLAN
A1.2	SECOND FLOOR PLAN
A1.3	THIRD FLOOR PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS CONT.

DESIGN TEAM

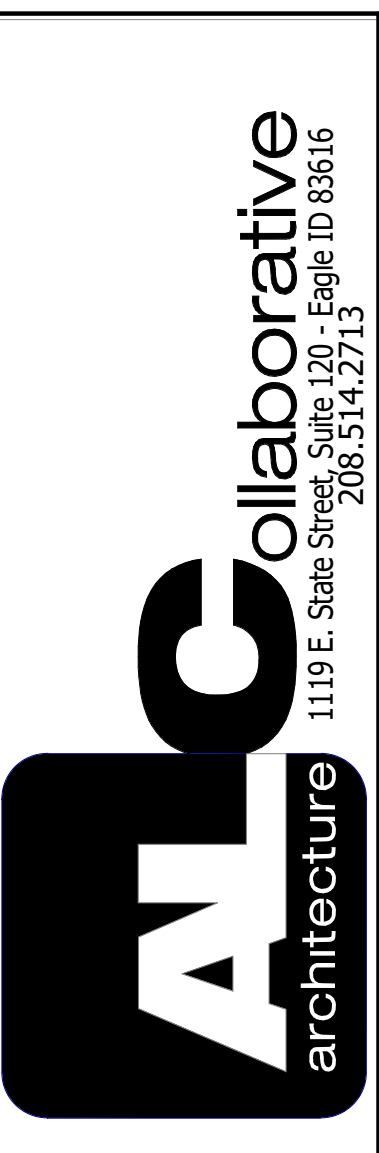
ARCHITECT :
ALC ARCHITECTURE
1119 EAST STATE STREET, SUITE 120
EAGLE, IDAHO 83616
JEFF LIKES
208.514.2713
JEFF@ALCARCHITECTURE.COM

DESIGN TEAM:
NEXT LEVEL DESIGN + DRAFTING

APPLICABLE CODES

2018 INTERNATIONAL BUILDING CODE (IBC)
2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
2018 INTERNATIONAL MECHANICAL CODE (IMC)
2017 IDAHO STATE PLUMBING CODE
2017 NATIONAL ELECTRICAL CODE (NEC)
2018 INTERNATIONAL FIRE CODE (IFC)

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G1.1



North Vantage Point



S.W. Vantage Point




South Vantage Point



S.E. Vantage Point

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EXISTING SITE PHOTOS

G1.2

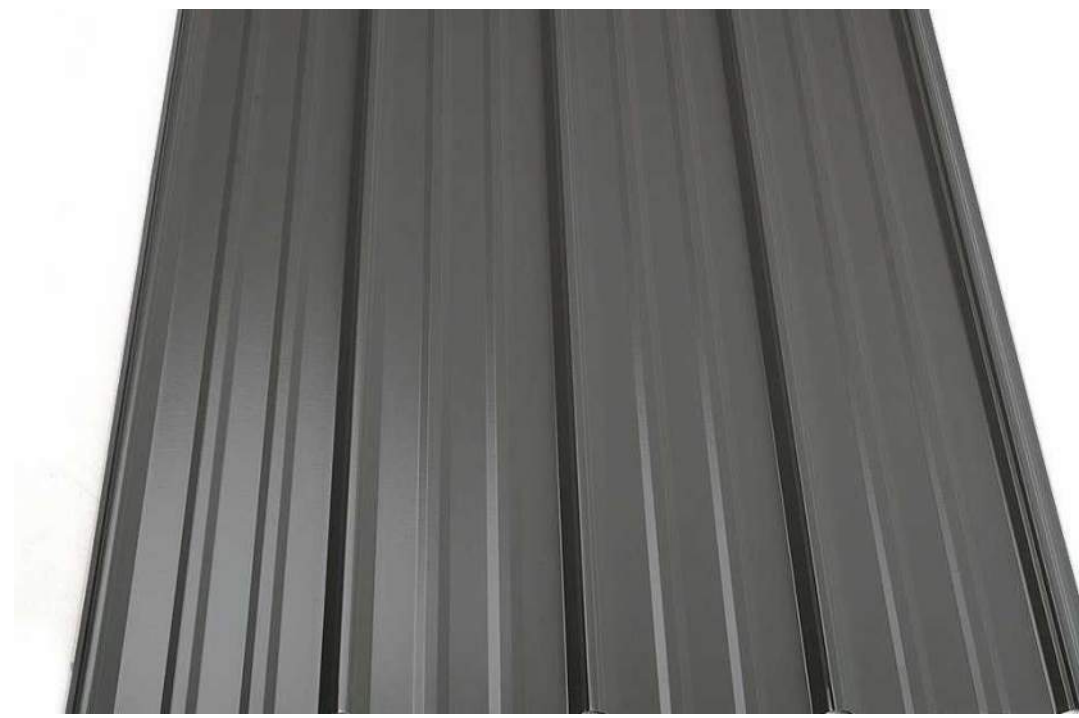
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FRONT 3D PERSPECTIVE ↑



REAR 3D PERSPECTIVE ↑



STANDING SEAM METAL ROOFING

STANDING SEAM PANELS FLOAT ON A SYSTEM OF SLIDING CLIPS THAT PREVENT DAMAGE FROM THERMAL EXPANSION AND CONTRACTION. STANDING SEAM DESIGNS ALSO ELIMINATE 80% OF THE THROUGH FASTENERS FOUND IN OTHER SYSTEMS FOR GREATER WEATHERTIGHTNESS.

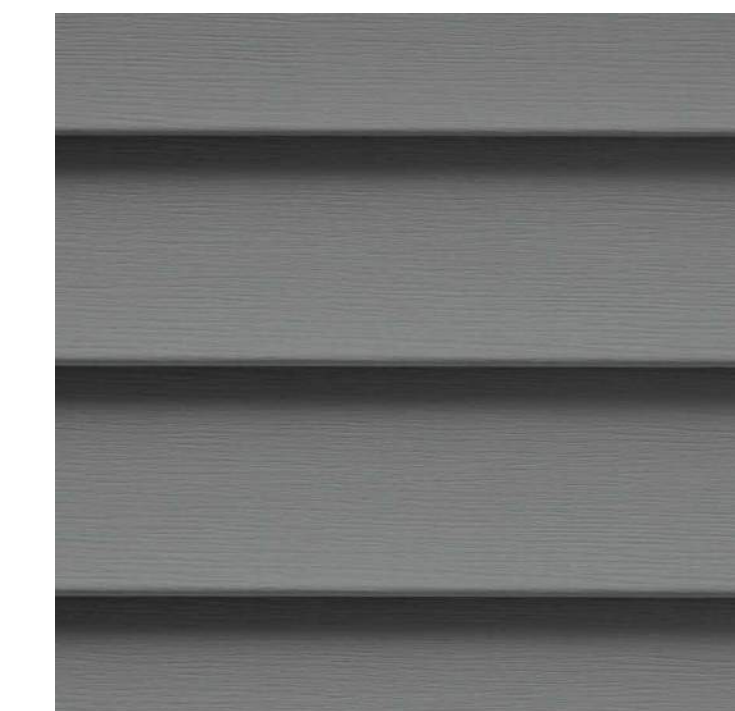


INSULATED PORCELAIN PLANKS, VERTICAL

THIS INNOVATIVE DESIGN DRAMATICALLY REDUCES ENERGY REQUIREMENTS AND PROVIDES SAFETY BY WITHSTANDING INCREDIBLE TEMPERATURES.



WHITE LIMESTONE ASHLAR



LAP SIDING

SHERWIN WILLIAMS IRON ORE (SW 7069)



PROGRESS LIGHTING, CYLINDER

IDEAL FOR A WIDE VARIETY OF INTERIOR AND EXTERIOR APPLICATIONS INCLUDING RESIDENTIAL AND COMMERCIAL. THIS MODULAR APPROACH RESULTS IN AN ENCAPSULATED LUMINAIRE THAT UNITES PERFORMANCE, COST AND SAFETY BENEFITS. TO BE INSTALLED WITH PROVIDED TOP COVERS TO PREVENT UPLIGHTING.

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EXTERIOR FINISHES



RIGHT 3D PERSPECTIVE ↑



LEFT 3D PERSPECTIVE ↑



DOUGLAS FIR TONGUE & GROOVE

AS ONE OF THE HARDEST AND MOST DENSE OF THE SOFTWOOD SPECIES, DOUGLAS FIR MAKES A PRACTICAL, AS WELL AS A BEAUTIFUL ADDITION TO YOUR HOME. FREQUENTLY USED FOR LOFT FLOORING AND ROOF DECKING, THE UNIQUELY STRAIGHT GRAIN AND REDDISH-ORANGE COLOR OF DOUGLAS FIR PROVIDES EYE-CATCHING APPEAL WHEREVER IT IS INSTALLED.



GLULAM BEAMS



RAW & CLEAR EPOXYED STEEL

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STRUCTURAL FINISHES

VISUALIZATION NOTES:

1. VISUALIZATIONS DO NOT ACCURATELY REPRESENT CLADDING SELECTIONS, LANDSCAPING ELEMENTS, LOT GRADE OR LOT SIZE.
2. MODEL IS NOT 100% ACCURATE TO DESIGN REVIEW SUBMITTALS. FOR ARCHITECTURAL VISUALIZATION ONLY.

FRONT RENDERED VISUALIZATION



REAR RENDERED VISUALIZATION



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VISUALIZATIONS

G1.5

VISUALIZATION NOTES:

1. VISUALIZATIONS DO NOT ACCURATELY REPRESENT CLADDING SELECTIONS, LANDSCAPING ELEMENTS, LOT GRADE OR LOT SIZE.
2. MODEL IS NOT 100% ACCURATE TO DESIGN REVIEW SUBMITTALS. FOR ARCHITECTURAL VISUALIZATION ONLY.

FRONT PATIO RENDERED VISUALIZATION



SIDE RENDERED VISUALIZATION



--

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DATE :	06.20.2023

VISUALIZATIONS

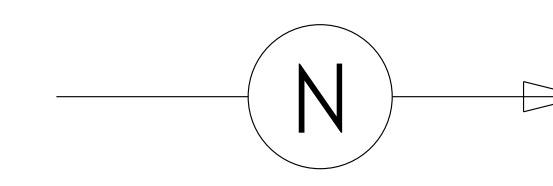
G1.6

GRADING NOTES:

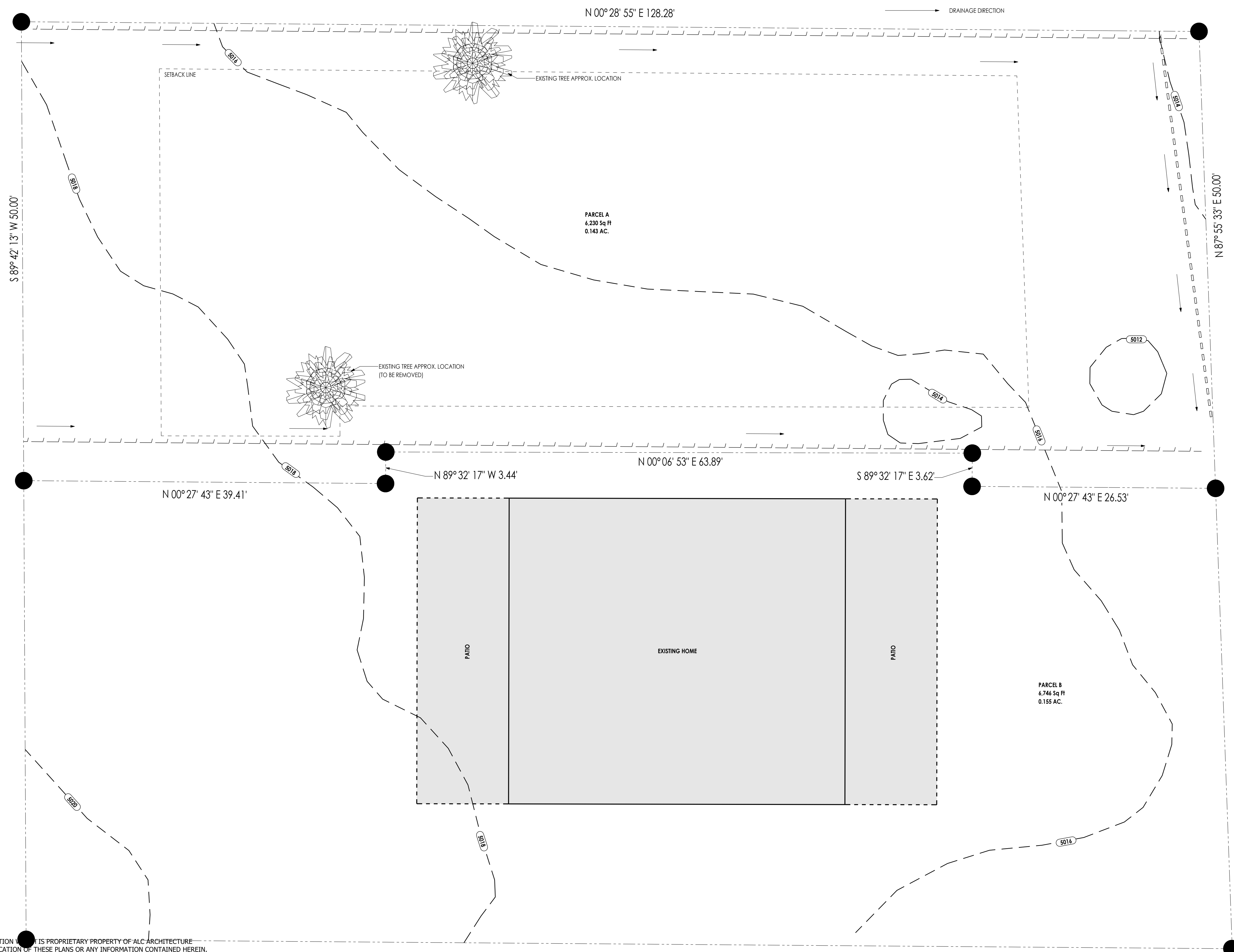
1. CONTOURS BASED ON USGS LIDAR
2. PLANS SHOW CONTOUR AT 2' INTERVALS

LEGEND:

- PROPERTY LINE
- - - PROPERTY SETBACK
- - - GRADE CONTOUR LINE (EXISTING)
- / - SILT FENCE (TEMPORARY BMP)
- - - - STRAW WATTLE (TEMPORARY BMP)
- DRAINAGE DIRECTION



EXISTING GRADING PLAN
Scale 3/16"



EAST LAKE STREET (STATE HWY 55)

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EXISTING GRADING PLAN

SP AS1.2

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PROPOSED GRADING PLAN

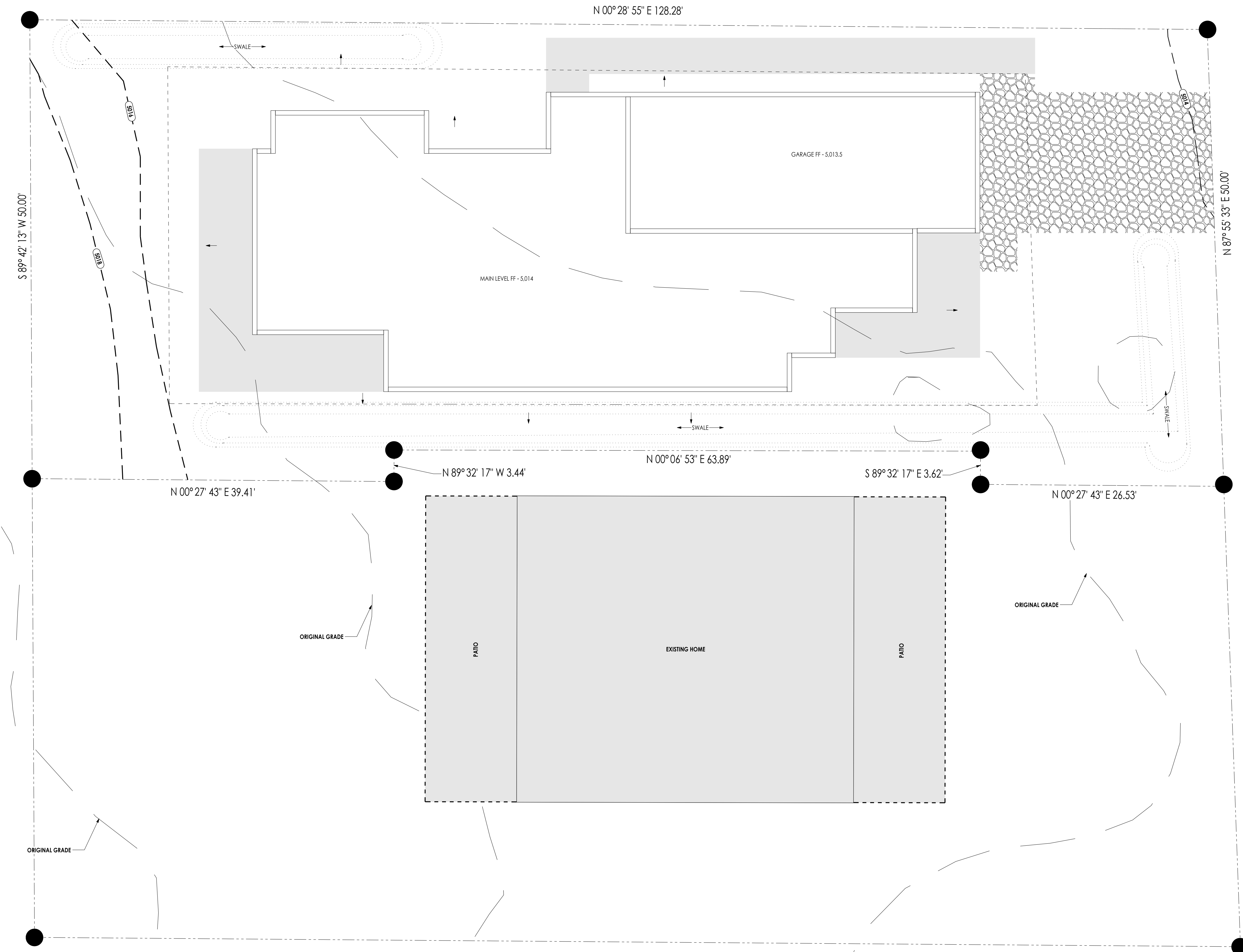
Scale 3/16"

GRADING NOTES:

1. CURRENT CONTOURS BASED ON USGS LIDAR
2. PLANS SHOW CONTOUR AT 2H INTERVALS
3. GRADE MUST SLOPE AWAY FROM THE HOUSE A MINIMUM 5% FOR 10' IN EACH DIRECTION AND 2% THEREAFTER

LEGEND:

- PROPERTY LINE
- - - PROPERTY SETBACK
- - - GRADE CONTOUR LINE (PROPOSED)



EAST LAKE STREET (STATE HWY 55)

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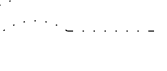
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PROPOSED GRADING PLAN

SP AS1.3

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LEGEND:

-  SNOW STORAGE AREAS
-  CRICKET
-  PERMABARK (BLACK 1")
-  ROCK
-  PROPOSED SWALE

SNOW STORAGE CALCULATIONS:

AREA 'A': 416 SQ FT (DRIVEWAY) x 0.33 = 137 SQ FT REQUIRED
 SUPPLIED: 370 SQ FT

AREA 'B': 219 SQ FT (FLATWORK) x 0.33 = 72 SQ FT REQUIRED
 SUPPLIED: 134 SQ FT

AREA 'C': 258 SQ FT (REAR PATIO FLATWORK) X 0.33 = 86 SQ FT
 SUPPLIED: 95 SQ FT

REQUIRED TOTAL: 300 SQ FT SUPPLIED TOTAL: 405 SQ FT

LANDSCAPE PLAN

- XX** ← PLANT ABBREVIATION
- #** ← QUANTITY

ABR.	NAME	QTY	SIZE
CBS	Columnar Blue Spruce	8	10' to 15'
OOG	Overdam Ornamental Grass	11	5" POT
RTD	Red Twig Dogwood	8	5 GAL
ET	Existing Tree	2	

NUMERIC CALLOUTS:

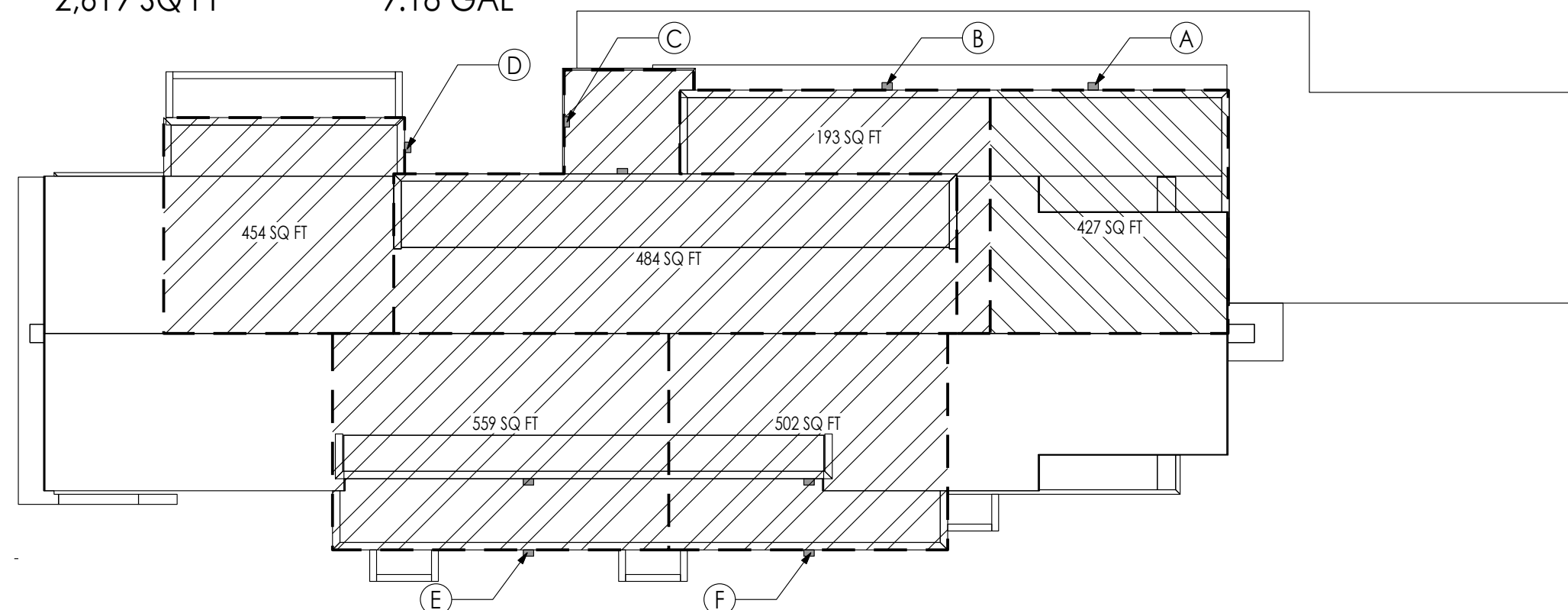
- ① DOWNSPOUT - TO BE INSTALLED WITH INTERNAL HEAT CABLE.
- ② FLAT ROOF. MIN. SLOPE 1/8" PER 12"

GUTTER RUNOFF TO DRAIN INTO SUB-GRADE FRENCH DRAIN & PROPOSED SWALES

GUTTER RUNOFF CALCS: (AREA x 0.81 IN / 231 (CU. IN PER GAL))

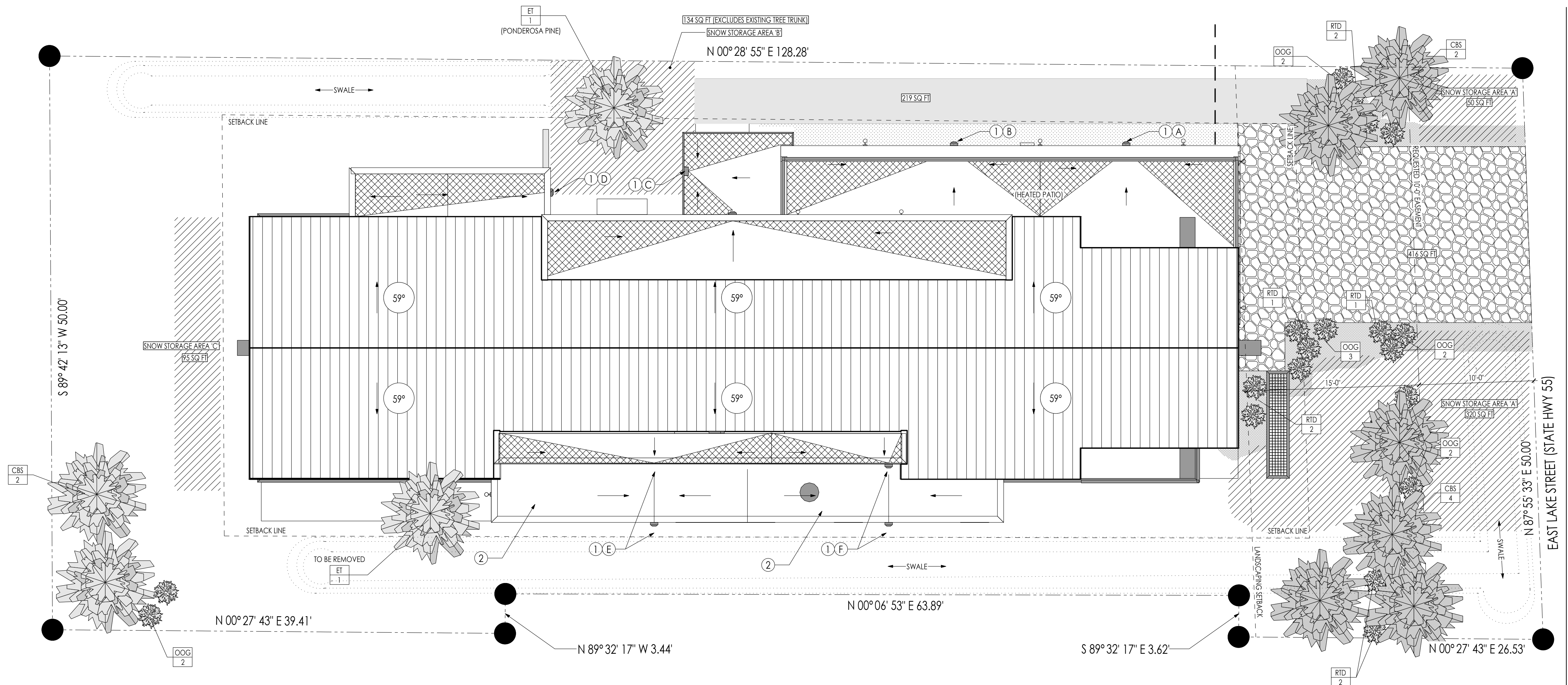
- (A) 427 SQ FT x .81 / 231 = 1.49 GAL
- (B) 193 SQ FT x .81 / 231 = .67 GAL
- (C) 484 SQ FT x .81 / 231 = 1.7 GAL
- (D) 454 SQ FT x .81 / 231 = 1.6 GAL
- (E) 559 SQ FT x .81 / 231 = 1.96 GAL
- (F) 502 SQ FT x .81 / 231 = 1.76 GAL

TOTAL SQ FT: 2,619 SQ FT TOTAL RUNOFF: 9.18 GAL



DOWNSPOUT SURFACE AREA MAP

Scale 3/32"



LANDSCAPE & DRAINAGE PLAN

Scale 3/16"

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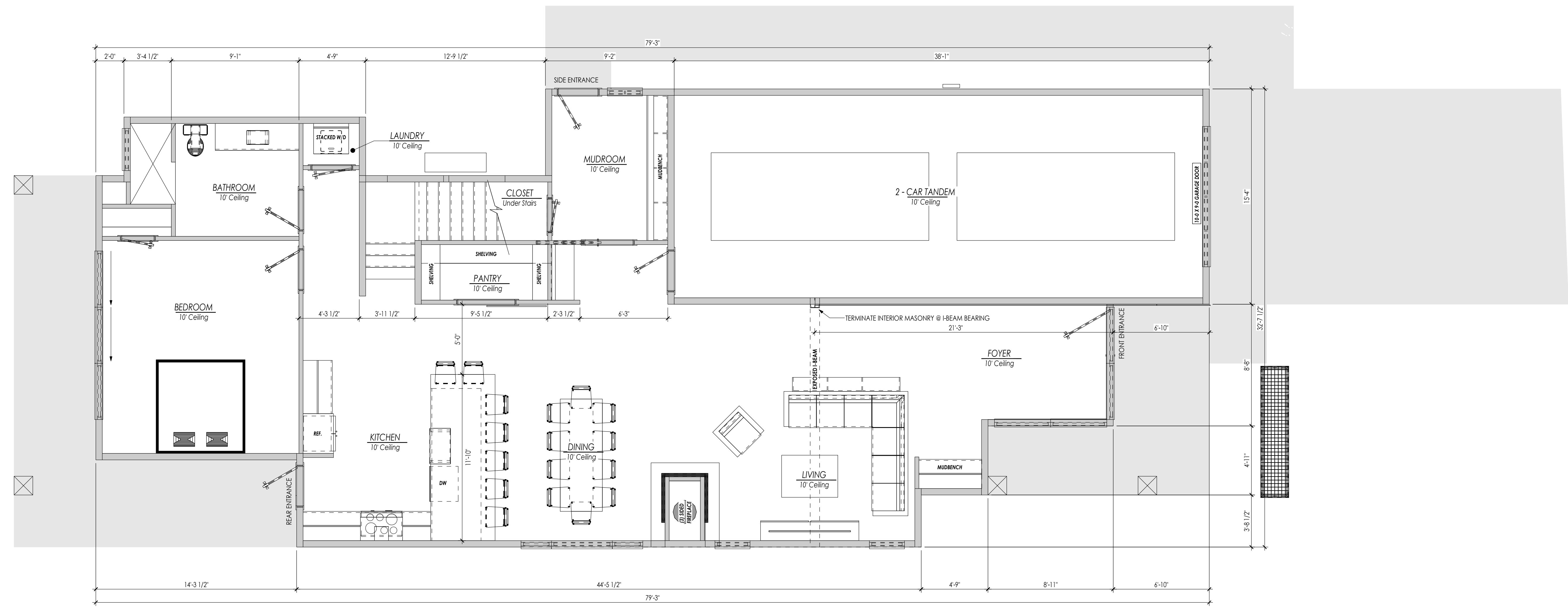
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 JOB #: 22150
 DATE: 06.20.2023
DRAINAGE & LANDSCAPE PLAN

SP AS1.4

AREAS:

1st Level:	1589 SF
2nd Level:	1297 SF
Loft space:	280 SF
Total:	3166 SF
Garage:	574 SF



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DRAWN : CC
 CHECKED : JL
 JOB # : 22150
 DATE : 06.20.2023
FIRST FLOOR PLAN

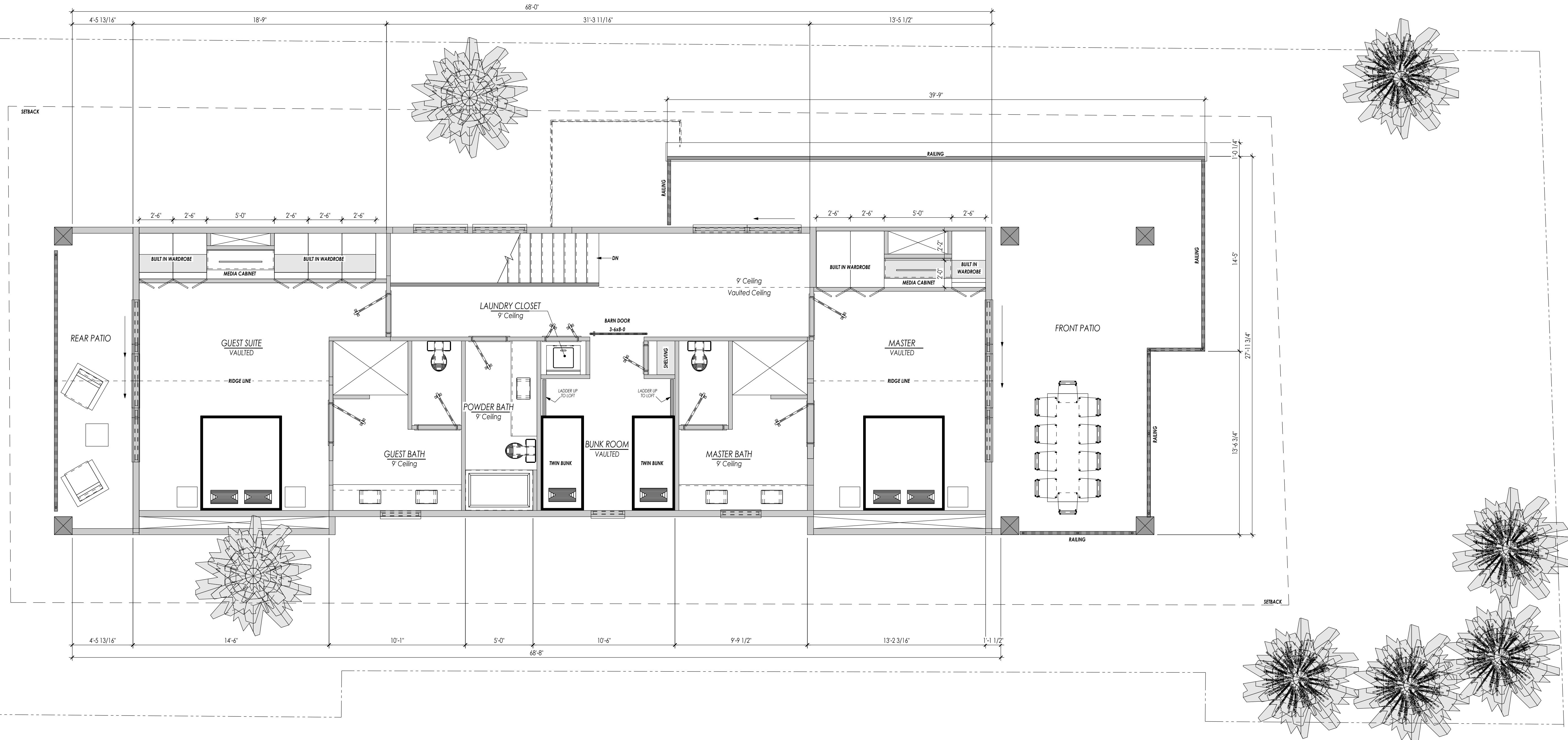
A1.1

1st LEVEL FLOOR PLAN
 Scale 1/4"

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AREAS:

1st Level:	1589 SF
2nd Level:	1297 SF
Loft space:	280 SF
Total:	3166 SF
Garage:	574 SF



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SECOND FLOOR PLAN

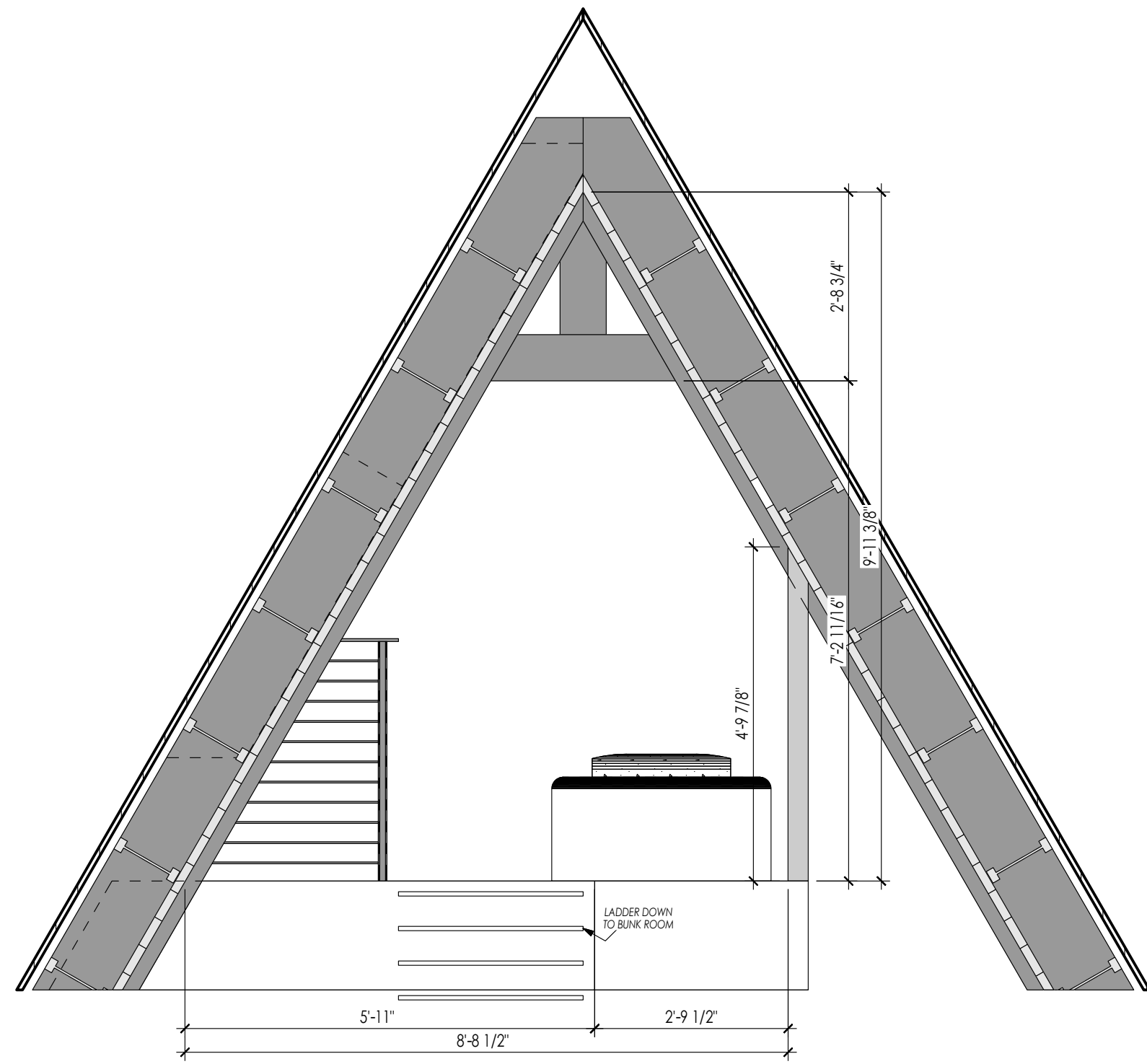
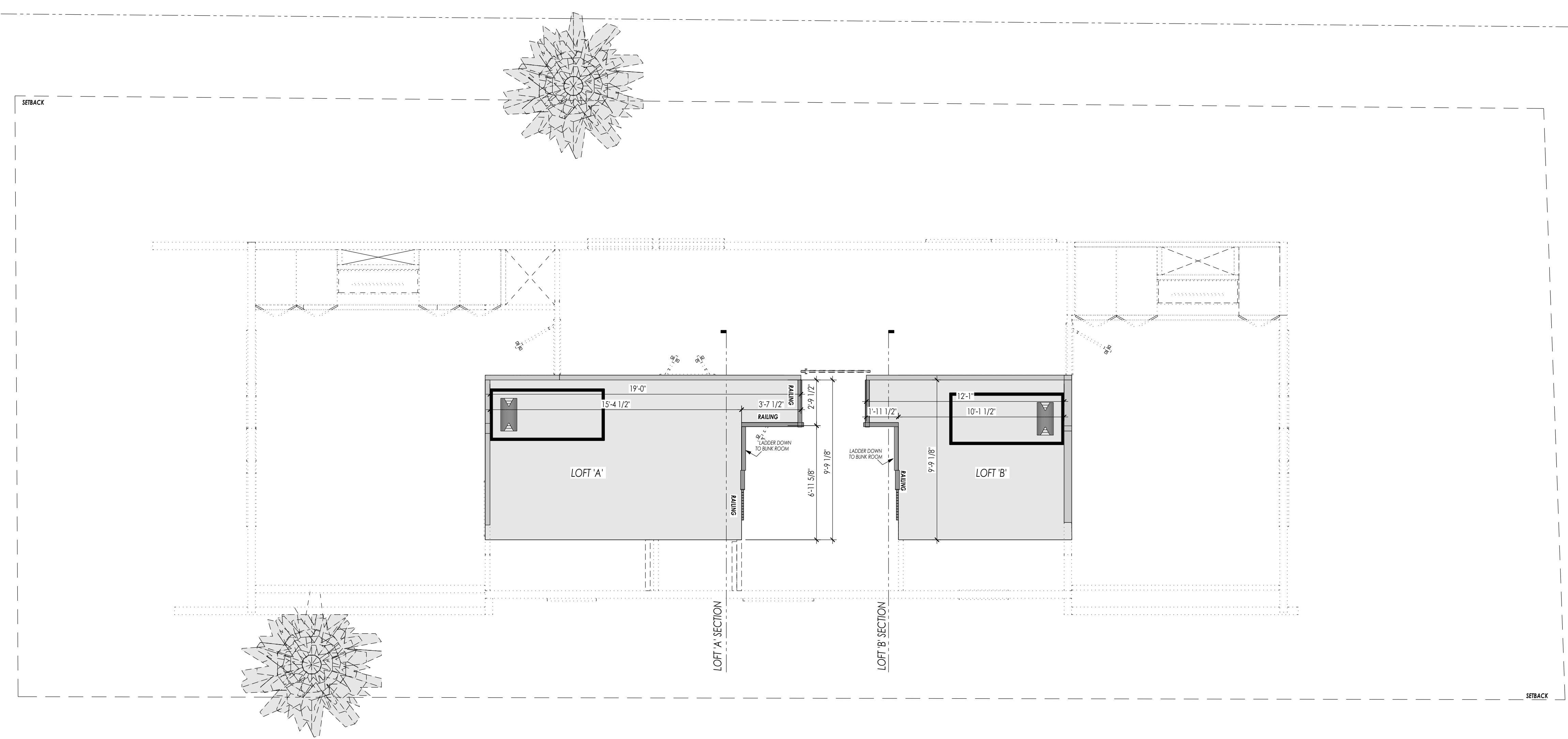
A1.2

2nd LEVEL FLOOR PLAN
 Scale 1/4"

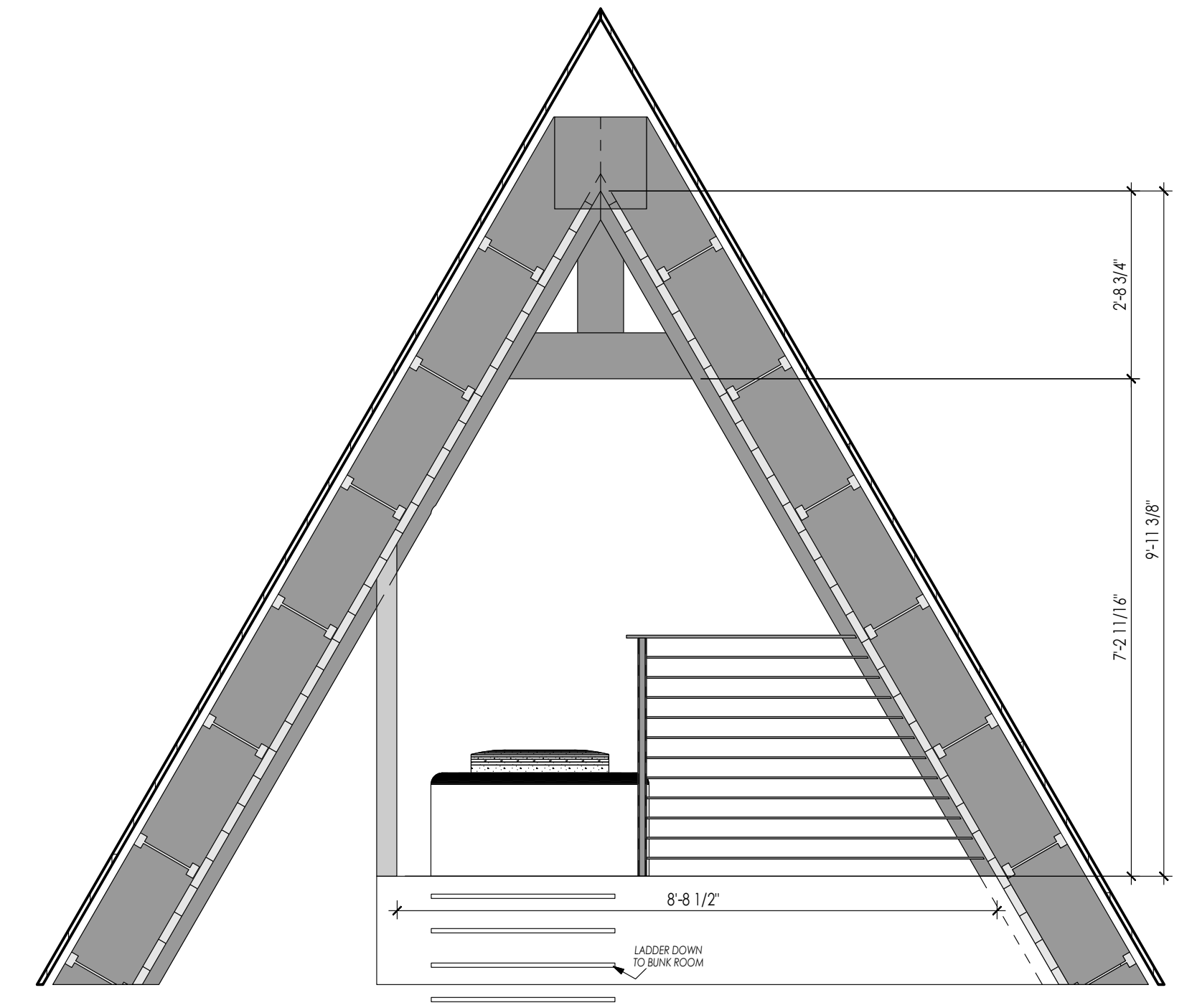
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AREAS:	
1st Level:	1589 SF
2nd Level:	1297 SF
Loft space:	280 SF
Total:	3166 SF
Garage:	574 SF



LOFT 'A' SECTION



LOFT 'B' SECTION

3rd LEVEL FLOOR PLAN
Scale 1/4"

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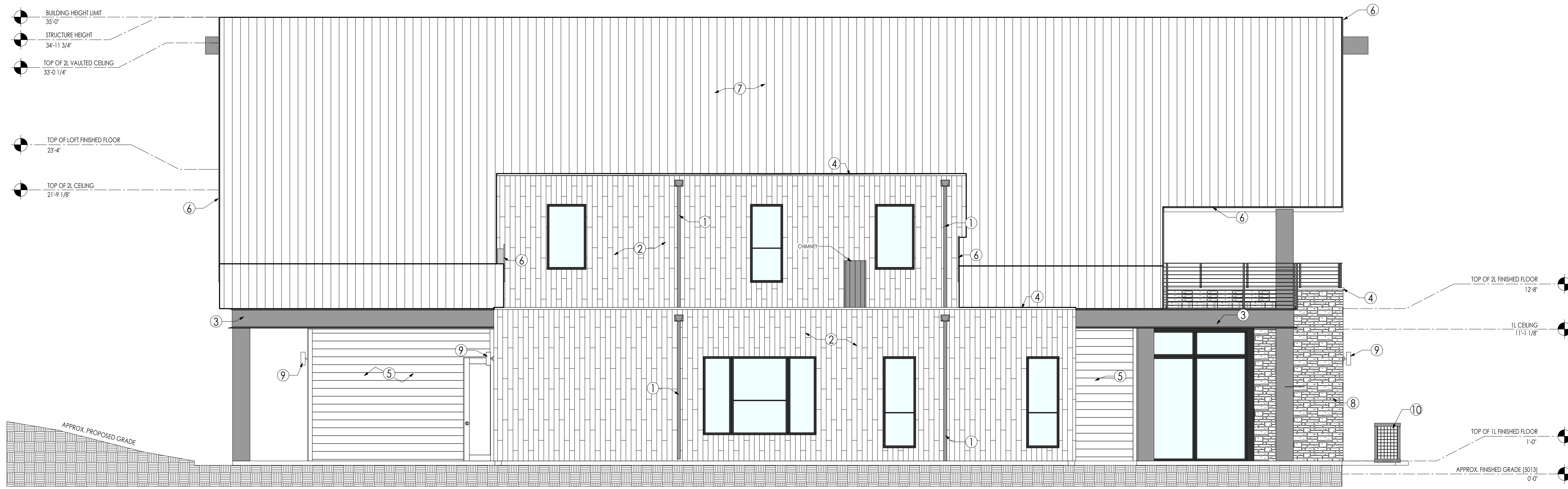
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THIRD FLOOR PLAN

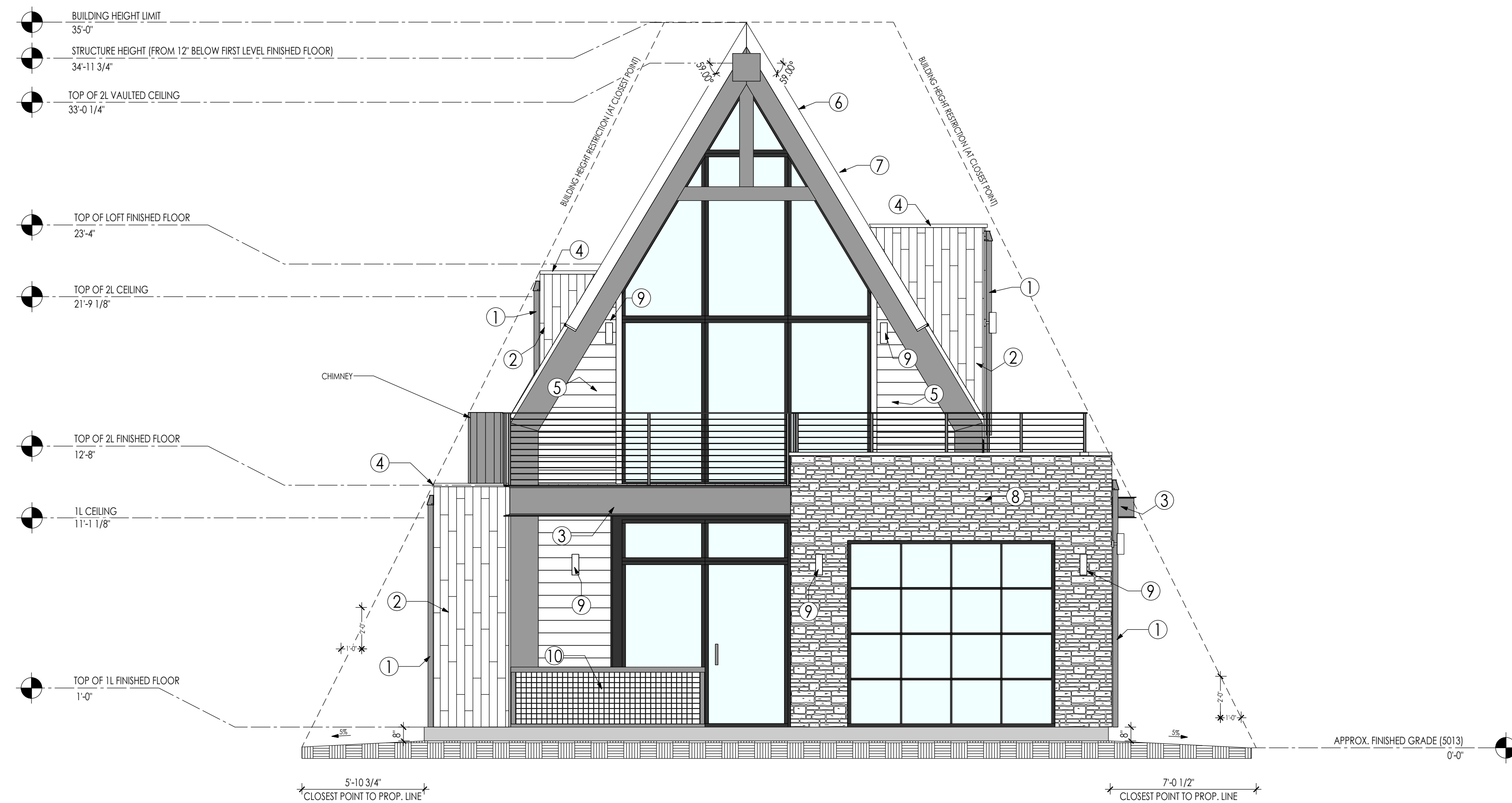
A1.3

File name: 120 E Lake St. McCall



LEFT ELEVATION

Scale 1/4"



FRONT ELEVATION

Scale 1/4"

- NUMERIC CALLOUTS:** # CALLOUTS NUMBERS REFER TO NUMBERED NOTES BELOW
- ① DOWNSPOUT
 - ② INSULSTONE VERTICAL PORCELAIN SIDING
 - ③ RAW STEEL (CLEAR EPOXY)
 - ④ PARAPET CAP
 - ⑤ CEMENTITIOUS LAP SIDING - SHERWIN WILLIAMS IRON ORE 7069
 - ⑥ FASCIA - SHERWIN WILLIAMS IRON ORE 7069
 - ⑦ STANDING SEAM METAL ROOFING
 - ⑧ WHITE LIMESTONE ASHLAR MASONRY
 - ⑨ PROGRESS INCANDESCENT 5" DIA. x 14" TALL OUTDOOR WALL LIGHT
MODERN CYLINDRICAL EXTERIOR SCONCE. TO BE INSTALLED WITH PROVIDED TOP COVER LENS TO PREVENT UP LIGHTING AND 3000K LAMPS.
 - ⑩ STEEL GABION BASKET (HOLDS WHITE LIMESTONE ROCK TO MATCH MASONRY ON HOME)

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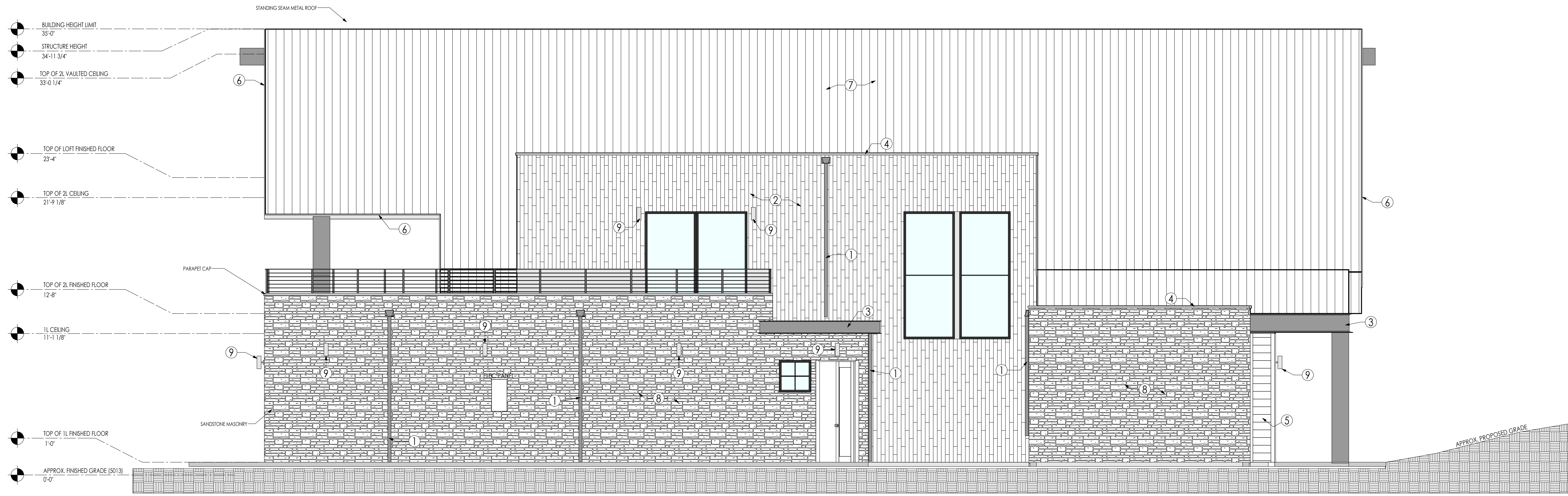
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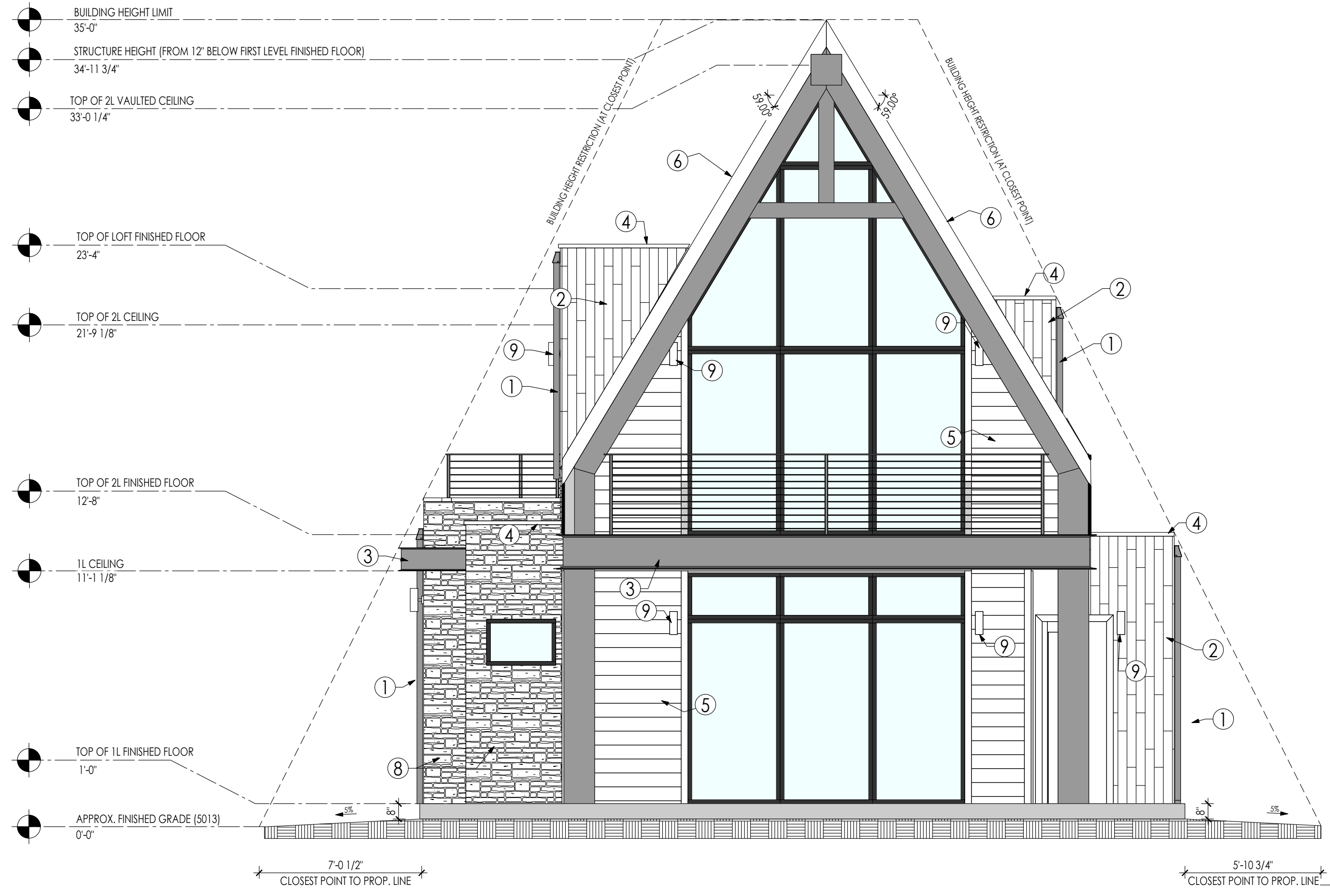
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ELEVATIONS

A2.1



RIGHT ELEVATION
Scale 1/4"



REAR ELEVATION
Scale 1/4"

- NUMERIC CALLOUTS:** # CALLOUTS NUMBERS REFER TO NUMBERED NOTES BELOW
- ① DOWNSPOUT
 - ② INSULSTONE VERTICAL PORCELAIN SIDING
 - ③ RAW STEEL (CLEAR EPOXY)
 - ④ PARAPE CAP
 - ⑤ CEMENTITIOUS LAP SIDING - SHERWIN WILLIAMS IRON ORE 7069
 - ⑥ FASCIA - SHERWIN WILLIAMS IRON ORE 7069
 - ⑦ STANDING SEAM METAL ROOFING
 - ⑧ WHITE LIMESTONE ASHLAR MASONRY
 - ⑨ PROGRESS INCANDESCENT 5" DIA. x 1'4" TALL OUTDOOR WALL LIGHT
MODERN CYLINDRICAL EXTERIOR SCIENCE. TO BE INSTALLED WITH PROVIDED TOP COVER LENS TO PREVENT UP LIGHTING AND 3000K LAMPS.

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DATE: 06.20.2023

ELEVATIONS
CONT.

A2.2

From: [Morgan Stroud](#)
To: eric@alcarchitecture.com
Cc: [Brian Parker](#); [Meredith Todd](#)
Subject: RE: DR 23-05 - 120 E Lake St - Engineering Review #2
Date: Monday, July 10, 2023 2:21:49 PM
Attachments: [image001.png](#)

The Public Works Department has reviewed the documents submitted for review for **DR23-05** and have the following comments and concerns.

1. The proposed structure will require a new water meter. Please fill out two water infrastructure sizing sheets. The sizing sheet can be found at this link:
https://www.mccall.id.us/media/PWORKS/Water%20Rate/10.05.22_Water%20Infrastructure%20Sizing_Residential.xlsx
2. More discussions on the placement of the water service for this project need to be had. The watermain in E Lake St is located on the north side of the road. Your site plan also needs to be updated to detail where the utility services will be located. Please include our standard details in your construction plans and identify where your water meters will be located and the proposed asphalt cuts across E Lake St.
 - a. Our standard water details can be found at this link:
<https://www.mccall.id.us/engineering>
3. A Preliminary Stormwater Report and stormwater application was not submitted with the application. The site plan submitted with the application does not provide sufficient information to demonstrate compliance with the City's Drainage Management Guidelines (DMGs). However, due to the small scope and scale of the project, it appears that the project will likely be able to comply with the DMGs, subject to the following required submittals:
 - a. Stormwater requirements **under 5,000 square feet** of impervious:
 - i. Completed and signed stormwater application
 - ii. Stormwater drainage report that covers sections A,B, and F of the Stormwater Management Checklist (begins on page 11 in DMG's)
 - iii. A site/grading plan showing temporary BMP's.
 - b. Supporting links for Stormwater items above:
 - i. Stormwater Application:
<https://evogov.s3.amazonaws.com/141/media/115535.pdf>
 - ii. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
 - iii. Stormwater Design Criteria Resolution 16-10:
<https://evogov.s3.amazonaws.com/141/media/115537.pdf>
 - iv. DEQ BMP Catalog:
<https://www2.deq.idaho.gov/admin/LEIA/api/document/download/14968>
 - v. GIS Application with 2ft contours as optional layer for site/grading plan -
<https://mccall.maps.arcgis.com/apps/webappviewer/index.html?id=3ecba344abc24c7a8018307dd72f71ab>
4. A Public Works Permit will need to be obtained prior to any work on the public water infrastructure (meters, service lines, etc). More information about the Public Works Permit can be found at this link: [https://www.mccall.id.us/public-works-permit#:~:text=City%20of%20McCall%20Public%20Works,the%20city's%20water%20meter%](https://www.mccall.id.us/public-works-permit#:~:text=City%20of%20McCall%20Public%20Works,the%20city's%20water%20meter%20)

[20pits](#)

5. The applicant will obtain necessary permits regarding the driveway from ITD prior to construction activities commencing.

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



McCall Public Works

Morgan Stroud, E.I.T.

Staff Engineer

(D) 208.634.3458

(C) 208.315.2299

www.mccall.id.us/engineering

From: [Morgan Stroud](#)
To: eric@alcarchitecture.com
Cc: [Brian Parker](#); [Meredith Todd](#)
Subject: DR 23-05 - 120 E Lake St - Engineering Review
Date: Friday, April 21, 2023 9:41:03 AM
Attachments: [image001.png](#)

The Public Works Department has reviewed the documents submitted for review for **DR23-05** and have the following comments and concerns.

1. The proposed structure will require 2 water meters. Please fill out two water infrastructure sizing sheets. One for the main unit and a second for the additional unit. The sizing sheet can be found at this link:
https://www.mccall.id.us/media/PWORKS/Water%20Rate/10.05.22_Water%20Infrastructure%20Sizing_Residential.xlsx
2. The watermain in E Lake St is located on the north side of the road. 3 meters will need to be placed with the addition of this project with new service line(s) extending to that main. The existing 120 E Lake Street meter will need to be relocated, and there will need to be 2 meters to serve this project as identified above. Please include our standard details in your construction plans and identify where your water meters will be located and the proposed asphalt cuts across E Lake St.
 - a. Our standard water details can be found at this link:
<https://www.mccall.id.us/engineering>
3. A stormwater plan and report was not resubmitted for review. Please submit these items.
4. A Public Works Permit will need to be obtained prior to any work on the public water infrastructure (meters, service lines, etc). More information about the Public Works Permit can be found at this link: <https://www.mccall.id.us/public-works-permit#:~:text=City%20of%20McCall%20Public%20Works,the%20city's%20water%20meter%20pits>
5. The applicant will obtain necessary permits regarding the driveway from ITD prior to construction activities commencing.

The comments above, and any subsequent comments from further reviews, will need to be addressed prior to Final Engineering Approval. Please let me know if there are any questions or concerns.

Thank you,



Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering

From: [Eric Anderson](#)
To: [Meredith Todd](#); [Cassie Coate](#)
Cc: [Brian Parker](#); [John Powell](#)
Subject: RE: 120 E Lake ST
Date: Monday, June 26, 2023 1:04:37 PM
Attachments: [image001.png](#)
[image003.png](#)

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Meredith,

Good afternoon,

Please consider the following response to Brian's email 12.29.2022.

1. The current plans show the building height being taken from grade which is the most restrictive than finish floor.
2. We no longer have a basement in the plans so the window wells and well protection is no longer an issue.
3. Handrails and gutters are no longer encroaching into setbacks.
4. Landscaping has been addressed, another tree along the scenic route has been incorporated into the landscape plan.
5. The entry door has been moved forward to meet the main entrance/ garage standards.
6. Only one unit is planned for the site so separate meters are not needed.
7. We have increased the snow storage on the east side of the home.
8. Drainage swales have been incorporated into the site plan to accommodate run off.

After you've had a moment to review, please let me know if there are any other questions.

Thank you,



ERIC ANDERSON

1119 E. State Street, Suite 120

Eagle, Idaho 83616

p. 208.514.2713

c. 208.841.1768

e. eric@alcarchitecture.com

From: Meredith Todd <mtodd@mccall.id.us>
Sent: Wednesday, June 21, 2023 2:54 PM
To: Cassie Coate <cassiec@alcarchitecture.com>
Cc: Eric Anderson <Eric@alcarchitecture.com>; Brian Parker <bparker@mccall.id.us>; John Powell <jpowell@mccall.id.us>
Subject: RE: 120 E Lake ST

Thanks Cassie,

We will review and provide comments on any remaining code compliance issues.

I recall there being an issue with the Main Entrance/Garage Standards relating to the pedestrian-oriented design of the street facing building façade, and I have some remaining concerns about the building height.

I will work on comparing these plans to the review we provided in April of significant code compliance issues but would appreciate if you provided a summary of revisions addressing the Engineering and Planning review comments attached. Code sections of concern are linked in Brian's attached email.

We ultimately need a code compliant project to provide the Planning & Zoning Commission.

Thank you,

Meredith Todd, MNR | Assistant City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4168 | Fax: 208.634.3038



Web: mccall.id.us
Blog: mccallcitysource.com
Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)

From: Cassie Coate <cassiec@alcarchitecture.com>
Sent: Wednesday, June 21, 2023 10:37 AM
To: Meredith Todd <mtodd@mccall.id.us>
Cc: Eric Anderson <Eric@alcarchitecture.com>
Subject: 120 E Lake ST

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Meredith,

I attached the revisions for 120 E Lake ST. This set eliminates the basement, shows the new front door location previously discussed, and depicts more than adequate snow storage all around. Let me know if you need anything else.

Thank you,

Cassie Coate

1119 E. State St. Ste. 120

Eagle, Idaho 83616

ph: 208.514.2713

Direct line: 208.229.8214

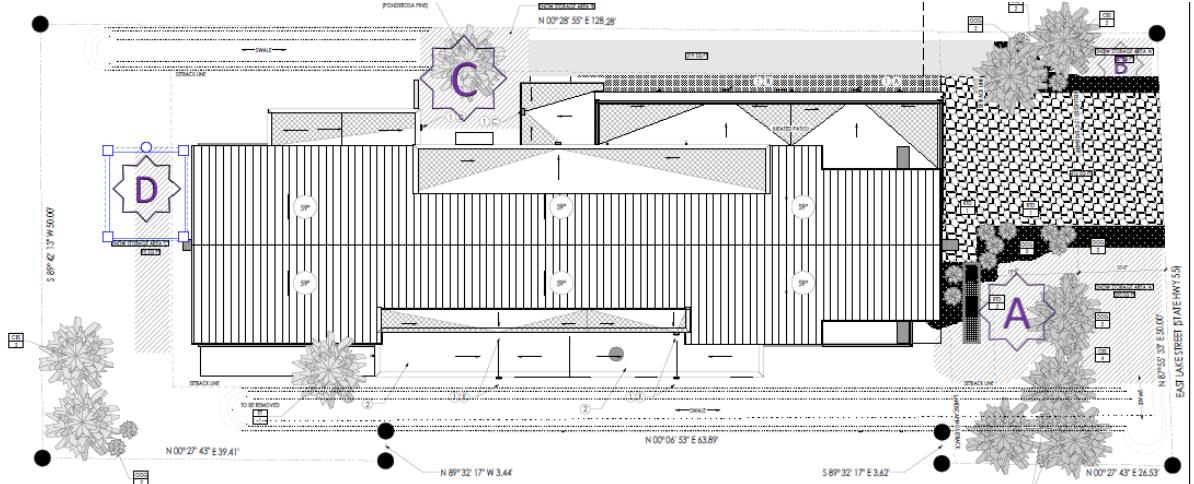
em: CassieC@ALCArchitecture.com



From: Brian Parker
To: Eric Anderson; Meredith Todd; Cassie Coate
Cc: John Powell
Subject: RE: 120 E Lake ST
Date: Monday, June 26, 2023 1:58:58 PM
Attachments: image004.png
image005.png
image006.png
image001.png

Eric,

The primary concern that I have remaining is the snow storage. You are required to provide one square-foot of snow storage area for every three square-feet of uncovered driveway or pathway area. In this case, that is 211 square-feet. For convenience, I added labels to the snow storage areas:



- A. The front 10' feet are reserved for a future sidewalk and snow storage from the street. **206 square-feet.**
- B. The front 10' feet are reserved for a future sidewalk and snow storage from the street. **0 square-feet.**
- C. [MCC 3.8.15\(C\)\(3\)](#) prohibits piling snow against substantial trees. **0 square-feet.**
- D. There's no way to get here. **0 square-feet.**

You are 5 square-feet short. This is being generous in my measurement of section A, as much of it is going to be difficult to use without damaging the landscaping or the gabion wall in front of the front door. Please revise.

Thank you,

Brian Parker, AICP | City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4256 | Fax: 208.634.3038



From: Eric Anderson <Eric@alcarchitecture.com>
Sent: Monday, June 26, 2023 1:04 PM
To: Meredith Todd <mtodd@mccall.id.us>; Cassie Coate <cassiec@alcarchitecture.com>
Cc: Brian Parker <bparker@mccall.id.us>; John Powell <jpowell@mccall.id.us>
Subject: RE: 120 E Lake ST

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Good afternoon,

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8. Drainage swales have been incorporated into the site plan to accommodate run off.

After you've had a moment to review, please let me know if there are any other questions.

Thank you,



ERIC ANDERSON

1119 E. State Street, Suite 120
Eagle, Idaho 83616
p. 208.514.2713
c. 208.841.1768
e. eric@alcarchitecture.com

From: Meredith Todd <mtodd@mccall.id.us>
Sent: Wednesday, June 21, 2023 2:54 PM
To: Cassie Coate <cassiec@alcarchitecture.com>
Cc: Eric Anderson <Eric@alcarchitecture.com>; Brian Parker <bparker@mccall.id.us>; John Powell <jpowell@mccall.id.us>
Subject: RE: 120 E Lake ST

Thanks Cassie,

We will review and provide comments on any remaining code compliance issues.

I recall there being an issue with the Main Entrance/Garage Standards relating to the pedestrian-oriented design of the street facing building façade, and I have some remaining concerns about the building height.

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Thank you,

Meredith Todd, MNR | Assistant City Planner
216 E. Park Street | McCall | Idaho 83638
Direct: 208.634.4168 | Fax: 208.634.3038



City of McCall

Web: mccall.id.us
Blog: mccallcitysource.com
Social: [Facebook.com/cityofmccall](https://www.facebook.com/cityofmccall)

From: Cassie Coate <cassiec@alcarchitecture.com>
Sent: Wednesday, June 21, 2023 10:37 AM
To: Meredith Todd <mtodd@mccall.id.us>
Cc: Eric Anderson <Eric@alcarchitecture.com>
Subject: 120 E Lake ST

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Meredith,

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Thank you,

Cassie Coate
1119 E. State St. Ste. 120
Eagle, Idaho 83616
ph: 208.514.2713
Direct line: 208.229.8214
em: CassieC@ALCArchitecture.com





CUP-23-03
AGRICULTURAL
STRUCTURE
TBD Oakwood Road

McCall Area Planning & Zoning Commission
Staff Report
July 11, 2023

Executive Summary

Description

An application for a Conditional Use Permit to construct and operate an 834 square foot agricultural shed structure as the primary structure and use on a Residentially zoned property. Shed will provide propagation space and storage for landscaping materials.

Discussion

- The applicant is proposing to construct an 834 square foot agricultural structure to facilitate the propagation of landscape plants.
- The building plans show a single pitched roof with a nine-foot (9') south-facing wall and a seventeen-foot (17') north-facing wall. The building elevations indicate that the structure will be sided with "26 gauge ribbed steel all around." No windows are shown on the plans. In an email, the applicant indicated that windows would be included along the southern elevation of the structure. While the southern elevation is the optimal side for heat and light for the purposes of propagating plants, it seems unlikely that the entire structure will be able to be utilized effectively for plant propagation with the windows along the without the use of artificial light, which will be difficult to achieve since the applicant's narrative indicates that no electrical service is proposed. The likely use in the event that it is not capable of being utilized as an agricultural structure would be vehicle storage, which is not consistent with the application materials provided and would be unlikely to be consistent with the Conditional Use Permit Criteria of Approval indicated in McCall Code Section 3.13.03(B). To prevent this, while still allowing functional use of the space as an agricultural structure, the garage door should be limited to a maximum of six feet (6') in width and the seventeen-foot (17') tall side of the structure should face south. Modified building plans should be provided prior to scheduling a hearing with the Valley County Board of Commissioners.
- The applicant's narrative indicates that no water service is proposed for the structure. As this application is for an agricultural structure to propagate plants, and plants require water to survive, the site should be served with water. Prior to scheduling a hearing with the Valley County Board of Commissioners, the applicant should provide a revised set of plans showing the site connected to water service.
- The applicant has provided a front elevation, but no side elevations or rear elevation. While design review is not required for this application, the design of the structure is critical to its function as an agricultural structure. Prior to scheduling a hearing with the Valley County Board of Commissioners, the applicant should provide elevations for all sides of the proposed structure. To provide adequate light to propagate plants, both side elevations and the rear elevation should have windows covering a minimum of 60% of the facades. To accommodate the man door and garage door, the front elevation should have windows covering a minimum of 30% of the façade.

Potential Motions Regarding CUP-23-03:

1. "I move to recommend approval of CUP-23-03 to the McCall City Council with the staff recommended conditions of approval."
2. "I move to recommend approval of CUP-23-03 to the McCall City Council with the staff recommended conditions of approval with the following modifications: _____."
3. "I move to continue CUP-23-03 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____."

4. "I move to remand CUP-23-03 back to staff and more information on _____ prior to reschedule the application for a new public hearing."
5. "I move to continue CUP-23-03 to the August 1, 2023 meeting and direct staff to prepare findings of fact and conclusions of law documents recommending denial the subject application to the McCall City Council for the reasons identified in the Commission's deliberations."

Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	Scheduling a hearing with the Valley County Board of Commissioners	The applicant shall provide a revised set of building plans with the garage door no wider than six feet (6').	City Planner
2.		The applicant shall provide a revised set of plans with the seventeen foot (17') tall side of the proposed structure oriented to the south.	City Planner
3.		The applicant shall provide a revised set of building plans showing the site connected to water service.	City Engineer
4.		The applicant shall provide elevations for all sides of the proposed structure. To provide adequate light to propagate plants, both side elevations and the rear elevation should have windows covering a minimum of 60% of the facades. To accommodate the man door and garage door, the front elevation should have windows covering a minimum of 30% of the façade.	City Planner
5.	The issuance of a building permit	The applicant shall receive final engineering approval	City Engineer
6.	The issuance of a certificate of occupancy	The applicant shall reseed all disturbed areas with native grasses or wildflowers	Building Official

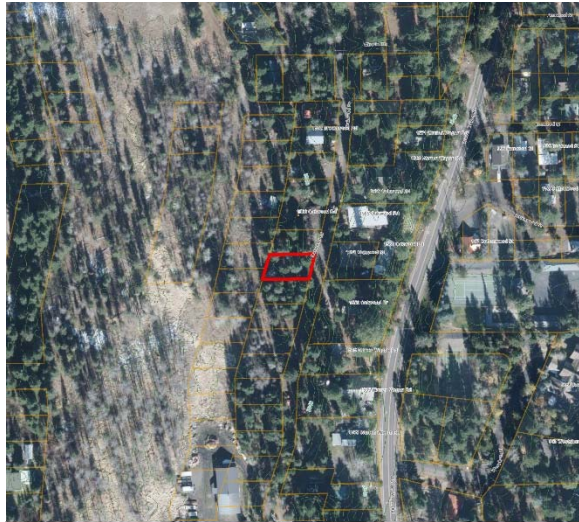
Expirations

1. Pursuant to McCall City Code Section 3.13.034(B), conditional use permit approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

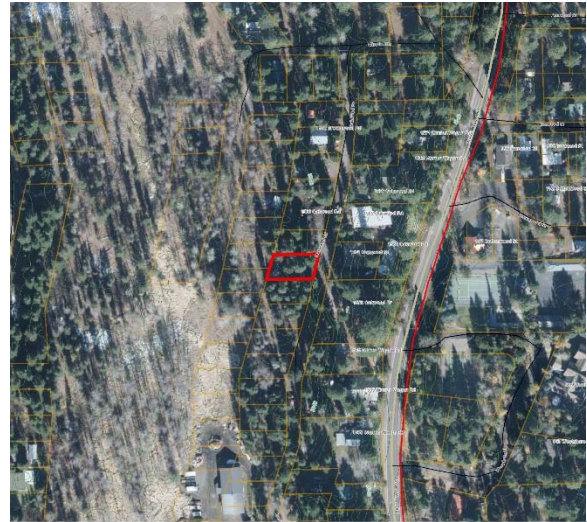
Other

1. The proposed structure is to be used for agricultural and landscape propagation purposes only. No personal vehicle storage, camping, or other activities not related to plant propagation shall be permitted with this conditional use permit.

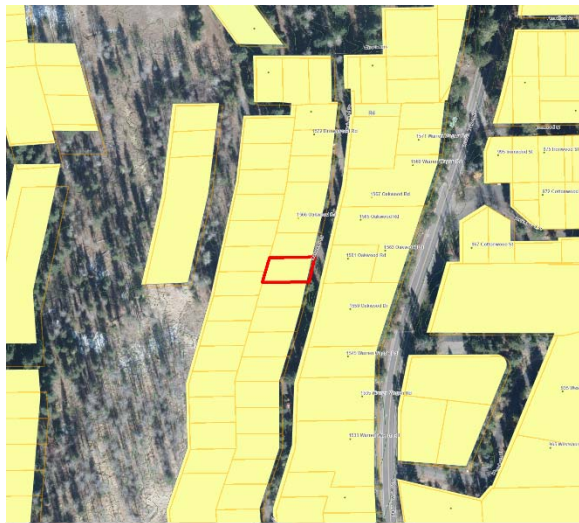
Project Location



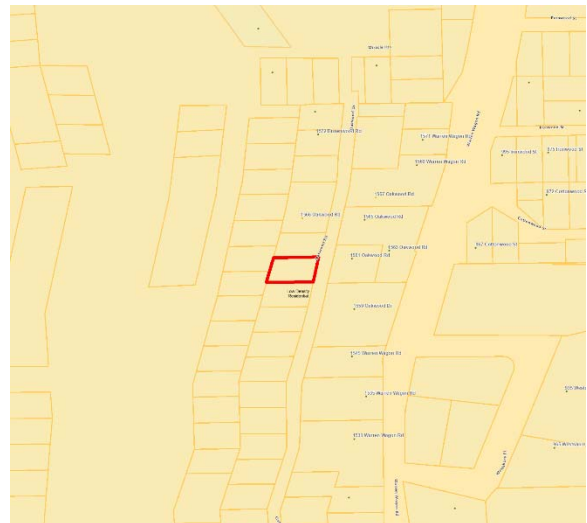
Subject Property



Transportation



Current Zoning



Future Land Use

Project Analysis

Description

An application for a Conditional Use Permit to construct and operate an 834 square foot agricultural shed structure as the primary structure and use on a Residentially zoned property. Shed will provide propagation space and storage for landscaping materials.

Zoning District: R4 – Low Density Residential
Comprehensive Plan Designation: Low Density Residential
Project Acreage: 0.10 acres
Proposed Use: Agricultural Structure

Legal Description

Lot 13 of Group D of Payette Lakes Club Subdivision, situate in the SE ¼ of the SE ¼ of Section 6, T18N, R3E, B.M., Valley County, Idaho.

Associated Documents

Application	Most Recent Revised Submittal Date
Land Use Application	April 14, 2023
Neighborhood Meeting Letter	March 6, 2023
Stormwater Application and Plan	March 6, 2023
Application Documents	April 20, 2023

Prior Hearings

Hearing	Date	Action	URL
Pre Application	April 4, 2023	N/A	https://youtu.be/ciruawyQY_4?t=658

Dimensional Standards

	Proposed	Required
Front Setback	34-feet, 0-inches	Greater than 20-feet
Rear Setback	19-feet, 0-inches	Greater than 5-feet
Side Yard Setback 1	10-feet, 0-inches	Greater than 5-feet, 0-inches
Side Yard Setback 2	15-feet, 0-inches	Greater than 5-feet, 0-inches
Eave Height 1	18-feet, 6-inches	Less than 20-feet, 0-inches
Eave Height 2	10-feet, 6-inches	Less than 30-feet, 0-inches
Both Side Setbacks must add up to:	25-feet, 0-inches	Greater than 10-feet, 0-inches
Lot Coverage (square-feet)	1,019 square-feet	Less than 2,180 square-feet
Lot Coverage (percent)	23.4%	Less than 50.%
Snow Storage	900 square-feet	Greater than 148 square-feet
Building Height	18-feet, 6-inches	Less than 35-feet
Structure Size	864 square-feet	Less than 10,000 square-feet

Code Sections of Interest

- McCall Code Section 3.2.02: Meanings of Terms or Words:

AGRICULTURAL STRUCTURE: Any structure (see definition of Structure) that is related to or used in the science, business or art of cultivating soil, producing crops, and/or raising livestock.

GARAGE, RESIDENTIAL: A building designed and used for the storage and care of motor vehicles owned by the property owner or guests.

STRUCTURE: Anything constructed or erected, the use of which requires location on the ground or attachment to something having a fixed location on the ground. Among other things, structures include buildings, mobile homes, walls, fences, decks, patios, satellite dishes, billboards, fuel tanks, refuse enclosures, and piers or any other construction erected to connect docks to the shore; "structure" does not, for purposes of setbacks from the lot lines, include:

- (A) Paths, steps, and sidewalks of less than forty nine inch (49") width; and driveways from access streets to automotive vehicle storage areas;
- (B) Inground patios;
- (C) Detached planter boxes, walls not more than thirty inches (30") in height, or other landscaping features, which landscaping features are not more than thirty inches (30") above the natural terrain, or lot line fences except as otherwise provided in section 3.7.023 of this title; and
- (D) Docks and retaining walls otherwise permitted by this title.

- McCall Code Section 3.3.02: Residential Use Regulations:

Table 3.2.02 identifies "Agricultural structure" as a conditional use in the R4 – Low Density Residential zone.

- McCall Code Section 3.8.01: General Requirements:

The requirements of this chapter apply to all zones.

- (A) Compliance Required; Nuisance Prohibited: No development shall be permitted or authorized to be established or maintained which is a nuisance or otherwise does not comply with all applicable local, state and federal laws and regulations.
- (B) Lighting: All lighting shall be located in such a manner as to prevent glare on a roadway and to minimize impact on surrounding properties. See chapter 14, "Outdoor Lighting", of this title.
- (C) Environmental Assessment: The planning commission may require an applicant to provide an environmental assessment, to be submitted prior to the approval of any planned unit development, conditional use, or variance, subdivision and/or prior to recommending any zoning map amendment. When requiring such an assessment the precise nature of the items to be provided shall be listed by the commission.
- (D) Protection Of Natural And Cultural Resources: The planning commission may require an applicant to provide the following to protect natural and cultural resources of McCall:
 1. The dedication of public accessways not less than ten feet (10') in width to publicly owned land or waters; and
 2. The preservation of all historic and archaeological sites known or discovered on the parcel subject to development.
- (E) Pit Privies: Pit privies are prohibited, except in camps and campgrounds where constructed with a concrete liner and periodically pumped.
- (F) Dry Cabins: Dry cabins, that is, dwellings without piped in potable water and approved sewer, are prohibited. An accessory building containing sleeping quarters, such as a children's bunkhouse, adjacent to a residence with piped in potable water and approved sewer, is not a dry cabin. If a residence to which the water service has been discontinued for nonpayment of the water bill under title VI of this code continues to be occupied more than briefly after the discontinuance of service, it shall also be considered a dry cabin. Occupancy of a dry cabin is a public health hazard, a public nuisance, and is prohibited; the violation shall be considered committed by each of the adult members of the household.
- (G) Camping In Platted Subdivisions:
 1. Undeveloped Lots: Camping in tents or recreational vehicles, whether self-propelled or pulled by a vehicle, is prohibited on undeveloped lots in platted subdivisions, except where camping serves as temporary housing for the owners or construction workers during construction of a building on the lot pursuant to an issued building permit. Such use is limited to sixty (60) calendar days. Usage shall meet all health requirements, including potable water, sewer services, and garbage collection service. The persons so camping shall take all necessary steps to preserve the public peace and safety of other residents in the subdivision who may be affected by the camping and associated activity.
 2. Developed Lots: Nothing in this section shall be read to prohibit a homeowner from allowing guests to camp on the homeowner's property for up to ten (10) days out of every thirty (30) day period. Camping in excess of such ten (10) days out of thirty (30) is prohibited. A utility charge may be assessed to the homeowner equivalent to one additional dwelling unit for

each month in which the ten (10) day limit is exceeded. When camping occurs, these units must be connected to the home's water, sewer and electrical systems. Each day of camping in excess of the ten (10) is a separate violation of this title.

- (H) Outdoor Display Areas: Some areas, such as parking lots, may be used as temporary places on which to display merchandise, artwork, handicrafts, items for auction, etc.; in these cases, the organization arranging the display shall obtain a permit from the administrator.
- (I) Maintenance During Construction: A written construction plan shall be prepared and submitted for approval by the city for all construction projects within the city or the area of city impact. See section 9.6.08 of this code. (Ord. 821, 2-23-2006, eff. 3-16-2006)
- (J) Written Construction Plan: A written construction plan shall be prepared and submitted for approval by the public works director and community development director for large projects, as determined by the administrator, or the building official for single- or two-family dwelling units; see section 9.6.08 of this code.

Required Findings Code Sections:

- McCall Code Section 3.13.03(B) Conditional Use Permit Standards:
Findings For Granting Permit: A conditional use permit shall be granted only if the commission finds that the use, as applied for, in fact will:
 1. Constitute a conditional use authorized in the zone involved.
 2. Be harmonious with and in accord with the general objectives and with any specific objectives of the comprehensive plan and/or this title.
 3. Be designed, constructed, operated and maintained to be harmonious and appropriate in appearance with the existing or likely character of the neighborhood, and that such use will not change the essential character of the surrounding area.
 4. Not be detrimental to the health, safety and general welfare of persons residing or working in the neighborhood of such proposed use.
 5. Not cause any substantially harmful environmental consequences to any land or waters within the planning jurisdiction.
 6. Not create excessive additional public cost for public facilities and services, and will not be detrimental to the economic welfare of the community.
 7. Be served adequately by essential public facilities and services including highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools. The applicant may be required, as a condition of approval, to mitigate any deficient public service.
 8. Not involve uses, activities, processes, materials, equipment or conditions of operation that will cause unreasonable production of traffic, noise, smoke, fumes, glare, odors or other forms of pollution.
 9. Have vehicular approaches to the property so designed as not to create a detrimental interference with traffic on surrounding public or private thoroughfares, or adversely affect the pedestrian environment.
 10. Not result in the destruction, loss or damage of an important natural, scenic or historic feature.
 11. Be on a site of sufficient size to accommodate the proposed use, including the yards, open spaces, snow storage, walls, fences, parking areas, loading zones and design standards applicable.

12. Have a minimal negative economic impact on the neighborhood or surrounding community.

Comprehensive Plan Sections of Interest

- Vision in Motion – Our Vision:
McCall is a diverse, small town united to maintain a safe, clean, healthy, and attractive environment. It is a friendly, progressive community that is affordable and sustainable.
- Deep Dive – Future Land Use Designations – Low Density Residential:
This land use designation is intended to provide for the development of low-density single-family residential neighborhoods. These neighborhoods consist of larger home sites.

Discussion

- The applicant is proposing to construct an 834 square foot agricultural structure to facilitate the propagation of landscape plants.
- The building plans show a single pitched roof with a nine-foot (9') south-facing wall and a seventeen-foot (17') north-facing wall. The building elevations indicate that the structure will be sided with "26 gauge ribbed steel all around." No windows are shown on the plans. In an email, the applicant indicated that windows would be included along the southern elevation of the structure. While the southern elevation is the optimal side for heat and light for the purposes of propagating plants, it seems unlikely that the entire structure will be able to be utilized effectively for plant propagation with the windows along the without the use of artificial light, which will be difficult to achieve since the applicant's narrative indicates that no electrical service is proposed. The likely use in the event that it is not capable of being utilized as an agricultural structure would be vehicle storage, which is not consistent with the application materials provided and would be unlikely to be consistent with the Conditional Use Permit Criteria of Approval indicated in McCall Code Section 3.13.03(B). To prevent this, while still allowing functional use of the space as an agricultural structure, the garage door should be limited to a maximum of six feet (6') in width and the seventeen-foot (17') tall side of the structure should face south. Modified building plans should be provided prior to scheduling a hearing with the Valley County Board of Commissioners.
- The applicant's narrative indicates that no water service is proposed for the structure. As this application is for an agricultural structure to propagate plants, and plants require water to survive, the site should be served with water. Prior to scheduling a hearing with the Valley County Board of Commissioners, the applicant should provide a revised set of plans showing the site connected to water service.
- The applicant has provided a front elevation, but no side elevations or rear elevation. While design review is not required for this application, the design of the structure is critical to its function as an agricultural structure. Prior to scheduling a hearing with the Valley County Board of Commissioners, the applicant should provide elevations for all sides of the proposed structure. To provide adequate light to propagate plants, both side elevations and the rear elevation should have windows covering a minimum of 60% of the facades. To accommodate the man door and garage door, the front elevation should have windows covering a minimum of 30% of the façade.

Comments

Agency

- City of McCall Public Works
In an email dated June 5, 2023, the McCall Staff Engineer provided the following comments:

The Public Works Department has reviewed the documents submitted for review for **CUP 23-03** and have the following comments and concerns.

1. Thank you for submitting a stormwater plan to explain how stormwater runoff will be handled. It appears that the project will likely be able to comply with the City’s Drainage Management Guideline’s, subject to the following:
 - a. Stormwater drainage report that covers sections A,B, and F of the Stormwater Management Checklist (begins on page 11 in DMG's).
 - i. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
2. The applicant will obtain necessary permissions regarding the driveway from the HOA or owner of the Oakwood Rd prior to construction activities commencing.

Public

- No public comment has been received to date.

Actions

Potential Motions Regarding CUP-23-03:

1. “I move to recommend approval of CUP-23-03 to the McCall City Council with the staff recommended conditions of approval.”
2. “I move to recommend approval of CUP-23-03 to the McCall City Council with the staff recommended conditions of approval with the following modifications: _____.”
3. “I move to continue CUP-23-03 to the _____ meeting to allow time for staff and the applicant to provide more information on the following: _____.”
4. “I move to remand CUP-23-03 back to staff and more information on _____ prior to reschedule the application for a new public hearing.”
5. “I move to continue CUP-23-03 to the August 1, 2023 meeting and direct staff to prepare findings of fact and conclusions of law documents recommending denial the subject application to the McCall City Council for the reasons identified in the Commission’s deliberations.”

Conditions of Approval

	Prior to	Condition	Recommended Contact
1.	Scheduling a hearing with the Valley County Board of Commissioners	The applicant shall provide a revised set of building plans with the garage door no wider than six feet (6’).	City Planner
2.		The applicant shall provide a revised set of plans with the seventeen foot (17’) tall side of the proposed structure oriented to the south.	City Planner
3.		The applicant shall provide a revised set of building plans showing the site connected to water service.	City Engineer
4.		The applicant shall provide elevations for all sides of the proposed structure. To provide adequate light to propagate plants, both side	City Planner

		elevations and the rear elevation should have windows covering a minimum of 60% of the facades. To accommodate the man door and garage door, the front elevation should have windows covering a minimum of 30% of the façade.	
5.	The issuance of a building permit	The applicant shall receive final engineering approval	City Engineer
6.	The issuance of a certificate of occupancy	The applicant shall reseed all disturbed areas with native grasses or wildflowers	Building Official

Expirations

1. Pursuant to McCall City Code Section 3.13.034(B), conditional use permit approval shall lapse and become void whenever the applicant has not applied for a building permit within one year from the date of initial approval.

Other

1. The proposed structure is to be used for agricultural and landscape propagation purposes only. No personal vehicle storage, camping, or other activities not related to plant propagation shall be permitted with this conditional use permit.



City of McCall

Conditional Use Application

Date: 04/14/2023

Applicant / Additional Billing Contact / Owner

Applicant Name:	Martin Potucek	Owner of Record	Martin Potucek
Address:		Name:	
City, State, Zip:		Address:	2121 E. Overbluff Rd.
Phone:		City:	Spokane
Email:		State:	WA
Addl Billing Contact:	Martin Potucek	Zip:	99203
Address:	2121 E. Overbluff Rd.	Phone:	509-747-0460
City, State, Zip:	Spokane, WA 99203	Email:	bohemianandco@gmail.com
Phone:	509-747-0460	Invoice Email:	
Email:	bohemianandco@gmail.com	Owner of Record 2:	
		Address:	
		City:	
		State:	
		Zip:	
		Phone:	
		Email:	
		Invoice Email:	

Property

Site Address:	Lot 13D Payette Lake Club	Area:	Impact Area
Legal Desc.:	Parcel RP0019000D0130	Sewer:	Not Applicable
Zoning District:	R4	Square Footage:	4360

Contractor

Contact Name:	Martin Potucek	Email:	bohemianandco@gmail.com
Business Name:		Phone:	509-747-0460
McCall License #:		Idaho #:	
Mailing Address:			

Annexation Information

Annex Request:		Valley County:	
Adjoining Land Use:		Conditional Use:	
Parcel Split:		Project Type:	Residential
Parcel Adjoin:		Water:	Not Applicable
		Neighbor Meeting:	2023-04-14

Description: Build and operate private landscape/garden shed.

Companion Applications

- | | | | |
|--------------------------------------|--------------------------|-----------------------------------|--------------------------|
| Record of Survey: | <input type="checkbox"/> | Subdivision (Final Plat): | <input type="checkbox"/> |
| Design Review: | <input type="checkbox"/> | Subdivision Minor Plat Amendment: | <input type="checkbox"/> |
| Scenic Route View: | <input type="checkbox"/> | Variance: | <input type="checkbox"/> |
| Shoreline and River Environs Review: | <input type="checkbox"/> | Rezone/Future Land/Comprehensive: | <input type="checkbox"/> |
| Conditional Use: | <input type="checkbox"/> | Zoning Code Amendment: | <input type="checkbox"/> |
| Development Agreement: | <input type="checkbox"/> | Annexation: | <input type="checkbox"/> |
| Planned Unit Develop (Prelim Plat): | <input type="checkbox"/> | Vacation: | <input type="checkbox"/> |
| Planned Unit Develop (Final Plat): | <input type="checkbox"/> | Land Use: | <input type="checkbox"/> |
| Subdivision (Prelim Plat): | <input type="checkbox"/> | | |

Details

- | | | | |
|---------------------|-----|---------------------|--|
| Existing Cover: | | Res Parcels: | |
| Proposed Cover: | 0 | Comm Parcels: | |
| Open Space Sq.Ft.: | 0 | Engineer Name: | |
| # of Parking: | 0 | Engineer Email: | |
| Max Grade %: | 0 | Engineer Phone: | |
| Average Grade %: | 0 | Pre-App Date: | |
| Total Acreage: | 0 | Condominiums: | |
| Zoned Density: | 0 | Townhomes: | |
| Proposed Density: | 0 | PUD Name: | |
| Total Exist Lot: | 0 | Architect Name: | |
| Total Proposed Lot: | 0 | Architect Email: | |
| Min Lot Frontage: | 0 | Architect Phone: | |
| Min Lot Size: | 0 | Proposed Uses: | |
| Surveyor Name: | | Scenic Frontage: | |
| Surveyor Email: | | # of New Trees: | |
| Surveyor Phone: | | # of New Shrubs: | |
| Subdivision Name: | | Floodplain: | |
| Existing Parcels: | 0 | Shoreline Frontage: | |
| Proposed Parcels: | 0 | High Water Mark: | |
| New Construction | 864 | | |
| Sq Ft: | | | |

Sign

- Proposed color palette:
 Total signage area existing:
 Total signage area proposed:
 Length of street facing wall in linear feet:
 Length of property frontage in linear feet:
 If multiple frontages, please add lengths from street 2:
 Sign Company:
 Proposed Lighting:

I do hereby certify that the information contained herein is true and correct.

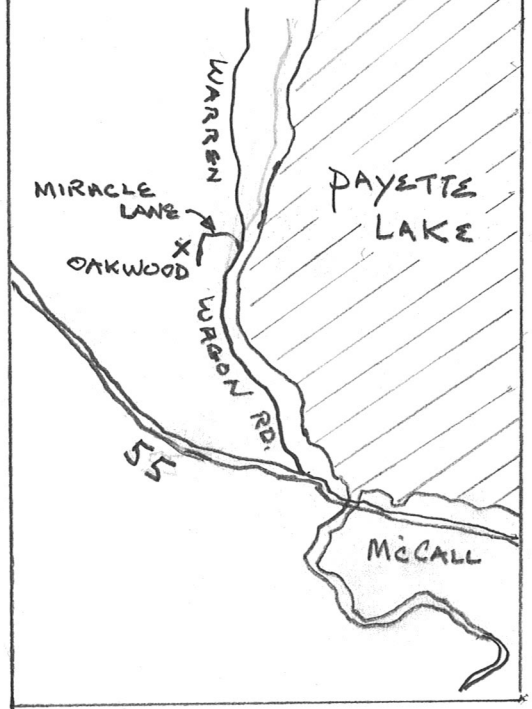
martin potucek

04/14/2023

Name

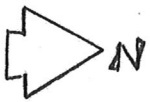
Date

VICINITY



SITE PLAN - PAYETTE LAKE CLUB - LOT 13-D

1 inch = 10 ft.

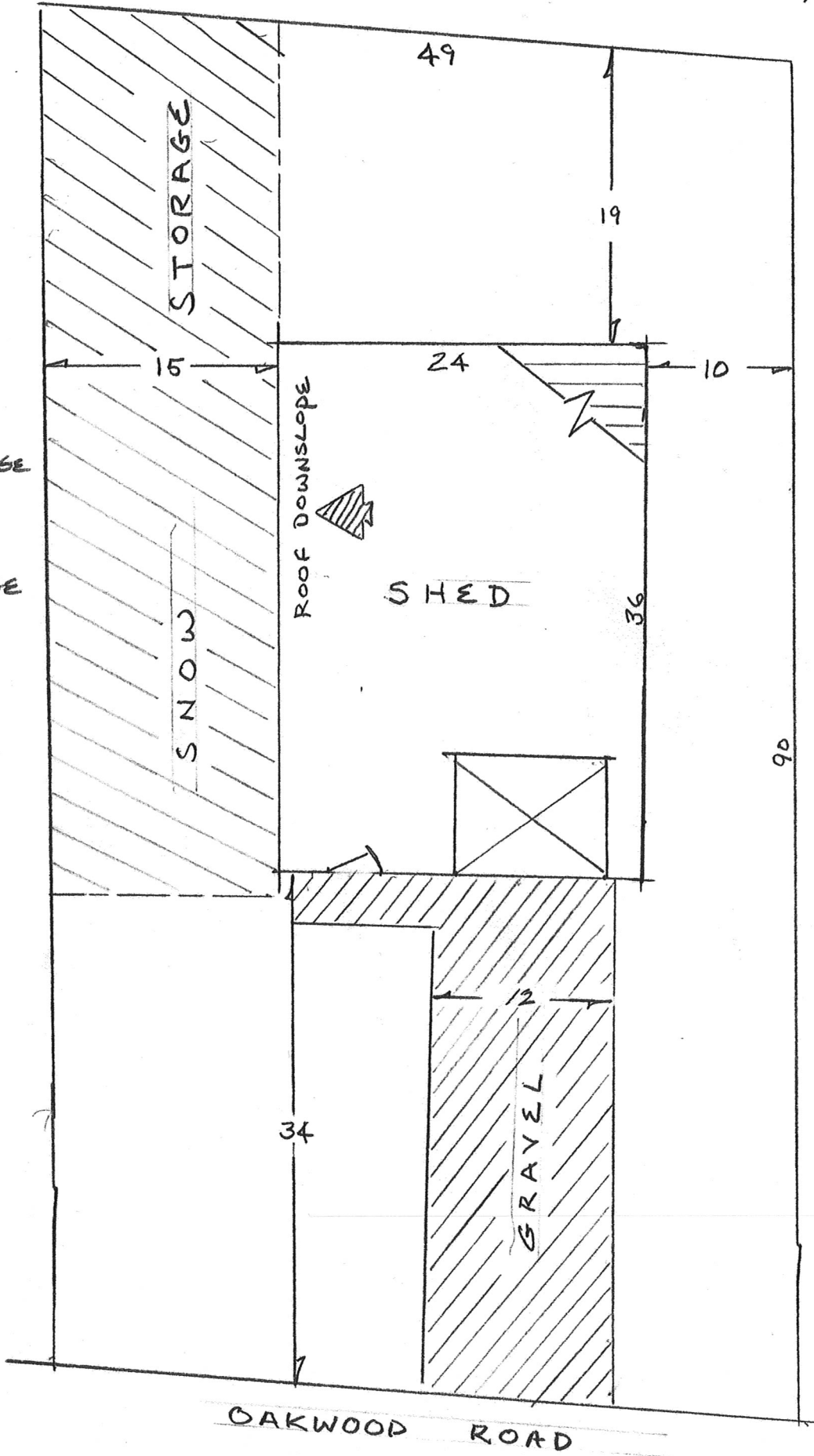


LOT SIZE =
4,410 ϕ

GRAVEL
DRIVE + WALK
440 ϕ

TOTAL COVERAGE
1,010 ϕ

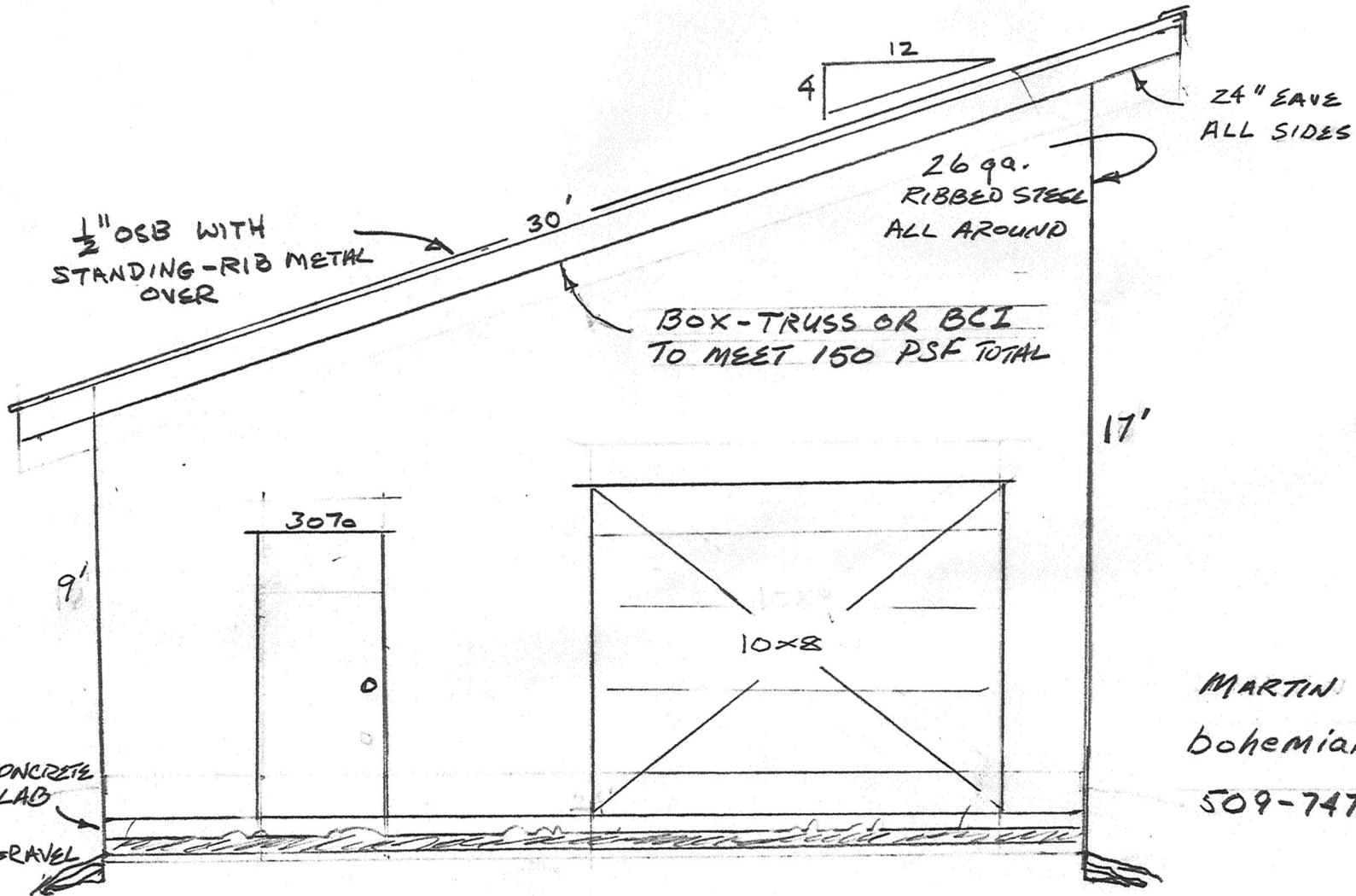
SNOW STORAGE
900 ϕ



OAKWOOD ROAD

AGRICULTURAL SHED - PAYETTE LAKE CLUB

DAKWOOD RD. LOT D-13



MARTIN POTUCEK
bohemianandco@gmail.com
509-747-0460

Concept Plan for Payette Lake Club, Lot 13, Group D Conditional Use Permit

Build and seasonally operate a 24x36' structure for agricultural/landscaping purposes. The simple shed roof structure would provide protected space and shelter for plant propagation, landscape materials, and tool storage.

The site sits directly across Oakwood Rd. (private) in Payette Lake Club from our seasonal home. The shed would serve to further our work in developing a cluster of lots we have elsewhere in PLC and for a farm in the Palouse region of Washington state and a tree farm in Kootenai County, Idaho.

The immediate neighborhood of this site is unique and a cultural asset for McCall. Not only is PLC the oldest beach association in Idaho, its history and development going back more than a century, is visible in the still-standing and soon to be renovated PLC Hotel structure just a block north of our home and site. While the cluster of new homes that have been built there recently (including ours) are modern in design (simple shed roofs, earthtone exteriors) we have put high priority on making the structures and landscaping pedestrian friendly and welcoming. This includes features such as integrating walkways and patios with existing trails and common areas within PLC.

The proposed shed is designed to match our home with the same roof pitch and eave appearance. While contemporary in design, the emphasis is on simplicity and functionality. Like our adjacent home, the exterior is mainly steel (in earthtones) with a mind to reducing fire risk in this forested neighborhood. I also have led Firewise projects recently within PLC, and am actively involved in ongoing wildfire mitigation within PLC.

Because PLC is privately developed and owned, all roads and commons are maintained by the individual members. The shed is to be operated on a seasonal basis (the warmer months), we require no public services (power, sewer, water). We provide for snow plowing and road maintenance that allow minimal public service (fire and law enforcement protection) year-round access. No commercial or public uses are intended.

Minimal site disturbance is a main criterion for this project. We have chosen the smallest structure for our needs on a mostly flat lot with native firs, huckleberries, and grasses. Soil conditions are glacial till with good drainage, meaning a mix of sand, clay, and boulders. We encourage this process with a minimal gravel driveway and restoring perimeter damage with plant species existent.

PLC is a special neighborhood within McCall. Our end is mostly vacant lots with lots of trees. By developing and partially consolidating nine lots within PLC, we (adjacent neighbor, D. Ernat, and ourselves) have striven to set a high standard for the neighborhood. Along with our neighbor, Scott Tunnell, we have tried to minimize the ramshackle elements, cleaning up the junk, while making it a welcoming, natural and safe part of the west side of McCall.

Valley County Assessor
 June Fullmer
 PO BOX 1350
 CASCADE, ID 83611

2022
ASSESSMENT NOTICE
VALLEY COUNTY

THIS IS NOT A BILL.
DO NOT PAY.

Annual Real Property
 For any questions, please notify the Assessor's Office immediately
 Assessor's Telephone Number: 208-382-7126

5/31/2022

PARCEL DESCRIPTION:

PAYETTE LAKE CLUB LOT 13 GROUP D

Parcel Address:

14551 RP0019000D0130 **AUTO**ALL FOR AADC 990 41



POTUCEK MARTIN
 2121 E OVERBLUFF RD
 SPOKANE WA 99203-3759

Appeals of your property value must be filed in writing,
 on a form provided by the County by:

6/27/2022

Tax Code Area: TAG 016-0000

Parcel Number: RP0019000D0130

ASSESSED VALUE OF YOUR PROPERTY

CURRENT DESCRIPTION	LOTS/ACRES	LAST YEAR'S VALUE	CURRENT YEAR'S VALUE
15H Rural Res Sub	0.103	18,176	28,159
37H Res imp on 15	0.000	1,987	2,208
SUBTOTAL:	0.103	20,163	30,367
LESS EXEMPTION:		0	0
NET TAXABLE PROPERTY VALUE:	4,360 #	20,163	30,367

These values may not include personal property values. Taxes are based on the values shown on this Notice and on the Budgets of the taxing districts.

BUDGET HEARING INFORMATION

TAXING DISTRICTS	PHONE NUMBER	DATE OF PUBLIC BUDGET HEARING
020 VALLEY COUNTY	208-382-7100	08/29/2022
210 DIST#421 BDG STAB	208-634-2161	06/13/2022
211 DIST #421 BOND	208-634-2161	06-13-2022
212 DIST #421 TORT	208-634-2161	06/13/2022
510 MCCALL CEMETERY	208-634-2779	08/26/2022
610 MCCL RURL FIRE	208-634-7070	08/30/2022
700 PYTE LAKE W/S	208-634-4111	08/17/2022
740 MCCALL MEMORIAL HOSPITAL	208-271-6678	08/16/2022
780 V.C. EMS DISTRICT	208-382-7100	08/29/2022

THIS IS NOT A BILL. DO NOT PAY.

STORMWATER APPLICATION
City of McCall

Fill in all information. Submit one copy of signed application and three copies of Stormwater Management Plan/Report to the City Engineer.

1. Project Name: PAYETTE LAKE CLUB SHED
Location: PAYETTE LAKE CLUB LOT 13 GROUP D
2. Owner's Name: MARTIN POTUCEK
Street: 2121 E. OVERBLUFF RD. City: SPokane
State: WA Zip Code: 99203 Phone: 509-747-0460
3. Project Description: BUILD 24 X 36' SHED STRUCTURE FOR SEASONAL AGRICULTURAL + LANDSCAPING PURPOSES: PLANT PROPAGATION, LANDSCAPE MATERIALS AND TOOL STORAGE.
- a. Total property area, in acres. .103 ONE-TENTH +
b. Proposed impervious surface (asphalt, rooftop, concrete, sidewalk, etc.) in square feet. 1120 ROOF
- c. Describe existing vegetation present on site. One white fir, two Douglas fir greater than 12" Diameter. Three cedars of smaller diameter. A mix of grasses + huckleberries in open area.
d. Start date of construction. 6-15-23 hopefully
e. Estimated length of time to complete improvements. 6-8 weeks

4. Stormwater Management Plan/Report attached? Yes No

5. Circle the section of the Stormwater Management Plan/Report Checklist which are applicable to project.

(A) (B) C ___ D ___ E ___ (F)

6. Party responsible for operation and maintenance of project, including maintenance of temporary and permanent Best Management Practices:

<u>Martin Potucek</u>	<u>Owner</u>	<u>[Signature]</u>	<u>2-23-23</u>
Name	Title	Signature	Date
<u>2121 E. Overbluff Rd.</u>		<u>509-747-0460</u>	<u>Same</u>
Address		Daytime Phone	After Hours Phone
<u>Spokane WA 99203</u>			

Do not write below this line.

This Stormwater Management Plan/Report is:

Approved: _____

Not Approved: _____

Approved, with conditions: _____

By The City of McCall

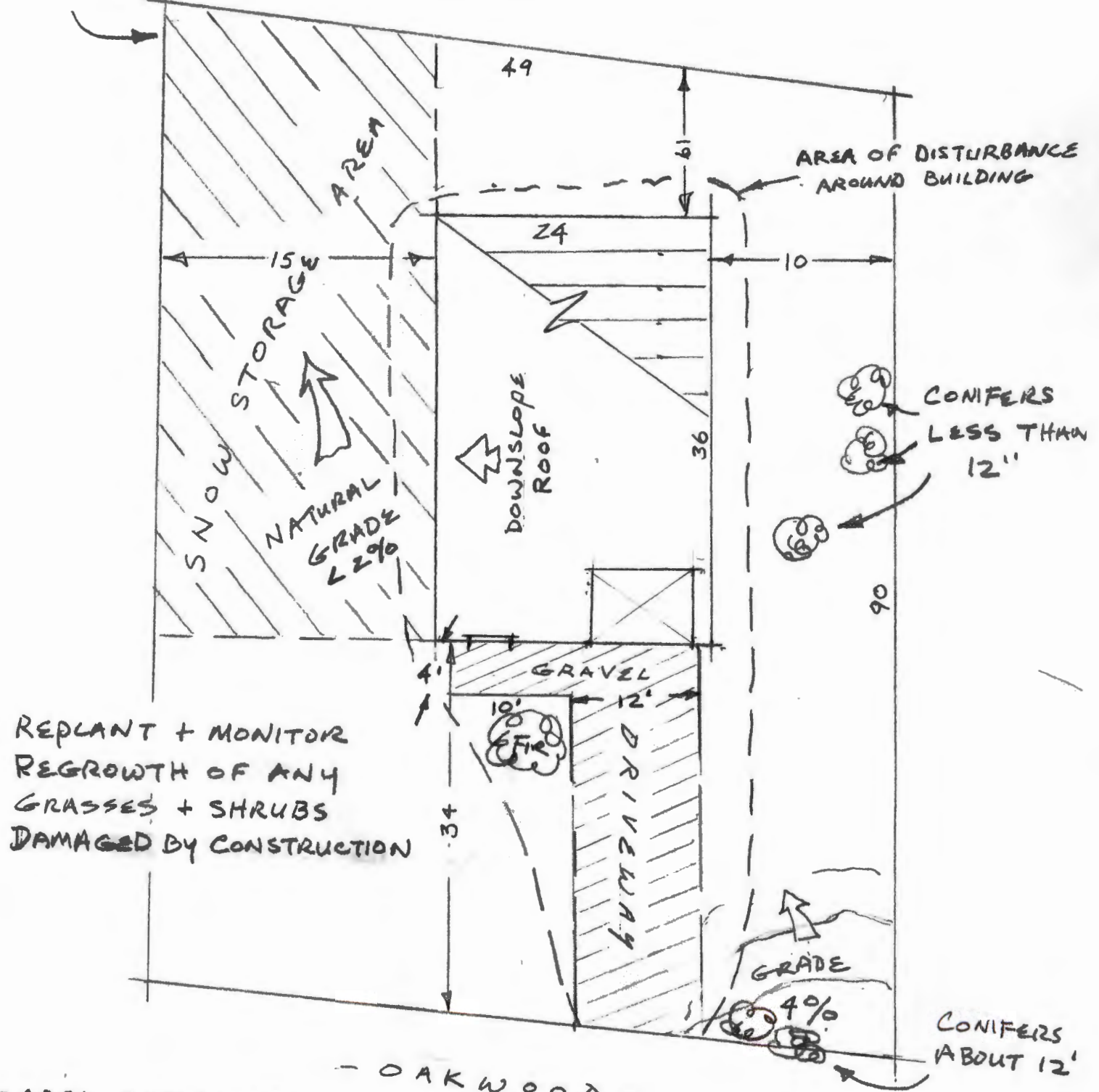
Representative Title Signature Date

AG SHED - PAYETTE LAKE CLUB - LOT D-13

STORMWATER PLAN



LOW CORNER



REPLANT + MONITOR REGROWTH OF ANY GRASSES + SHRUBS DAMAGED BY CONSTRUCTION

- OAKWOOD -

- AREA ESTIMATES -
- LOT 4410 #
- BLDG 864
- SNOWSTORE 900
- PERM. DRIVE 448
- + WALK

(Revised 3-2-23)

From: [Morgan Stroud](#)
To: bohemianandco@gmail.com
Cc: [Brian Parker](#); [Meredith Todd](#)
Subject: CUP 23-03 - TBD Oakwood Dr - Engineering Review
Date: Monday, June 5, 2023 10:46:29 AM
Attachments: [image001.png](#)

The Public Works Department has reviewed the documents submitted for review for **CUP 23-03** and have the following comments and concerns.

1. Thank you for submitting a stormwater plan to explain how stormwater runoff will be handled. It appears that the project will likely be able to comply with the City's Drainage Management Guideline's, subject to the following:
 - a. Stormwater drainage report that covers sections A,B, and F of the Stormwater Management Checklist (begins on page 11 in DMG's).
 - i. Drainage Management Guidelines:
<https://evogov.s3.amazonaws.com/141/media/115536.pdf>
2. The applicant will obtain necessary permissions regarding the driveway from the HOA or owner of the Oakwood Rd prior to construction activities commencing.

Thank you,



Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering

From: [Morgan Stroud](#)
To: bohemianandco@gmail.com
Cc: [Brian Parker](#); [Meredith Todd](#); [John Powell](#)
Subject: CUP-23-03 - TBD Oakwood Drive - Final Engineering Approval
Date: Wednesday, July 5, 2023 8:42:38 AM
Attachments: [2023-03-06 Stormwater Application.pdf](#)
[image001.png](#)

The Public Works Department has reviewed the updated materials for **CUP23-03** and the updates have addressed the concerns and comments raised during the review process.

- The signed stormwater application identifies **Martin Potucek (509-747-0460)** as the responsible party for the inspection and monitoring responsibilities of the best management practices (BMP's) once the project is implemented.
- The applicant will obtain necessary permissions regarding the driveway from the HOA or owner of the Oakwood Rd prior to construction activities commencing.

This email will act as the City's Final Engineering Approval. Please let me know if you have any additional questions or comments.

Thank you,



Morgan Stroud, E.I.T.
Staff Engineer
(D) 208.634.3458
(C) 208.315.2299
www.mccall.id.us/engineering